



# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 131 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1900

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

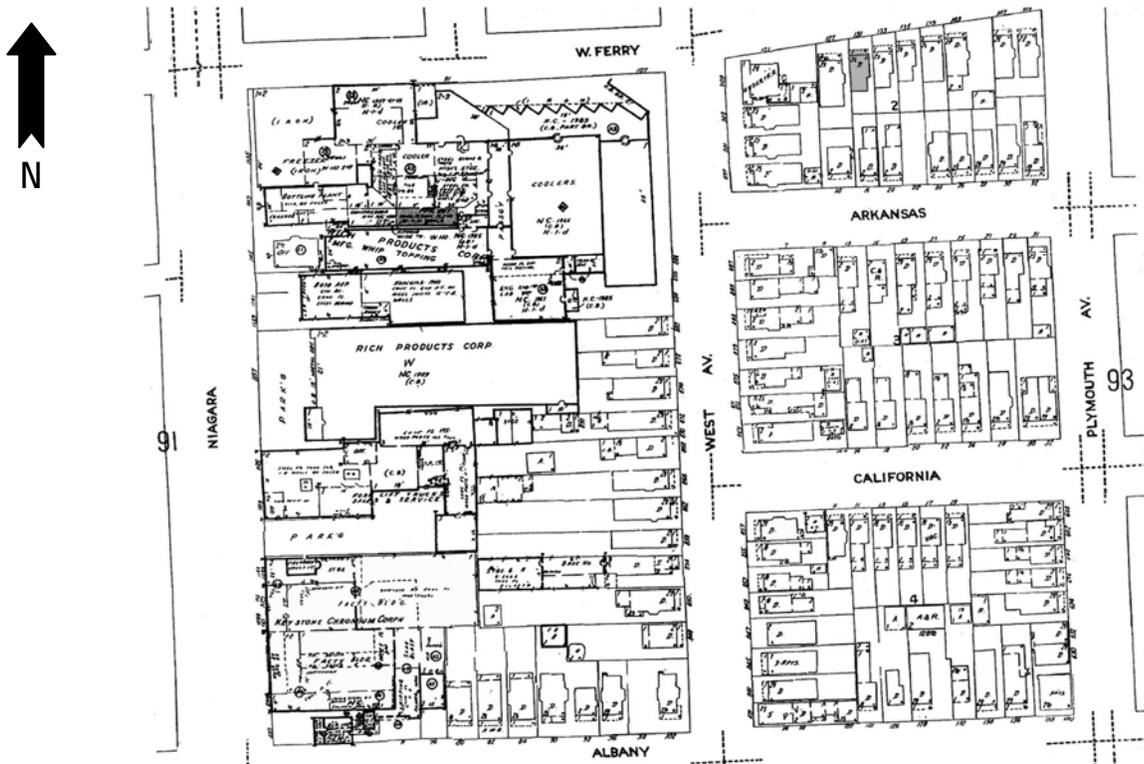
The single-family house at 131 West Ferry Avenue is set on a small slightly trapezoidal lot, located on the south side of the street, on the block between West Avenue and Plymouth Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a mixed residential area of the south western section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular, frame residence with period influences. It has a roughly rectangular plan with main block and slightly narrowed rear. The façade has a full-width, gabled porch of Craftsman influence with bracketed ¾- height square elephantine column supports set on solid shingled wood rail that extends over the foundation to the ground, frieze and moderate framing in the gable, and an entry stair in the west bay. The modestly sidelighted main entrance is located in the north bay. A triple window group occupies the east bay. The second floor façade has simple fenestration with a single window in the west and paired window in the east. A paired window punctuates the small pent enclosed gable end. Exterior wall fabric is wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. Tall brick chimney on the lower east slope. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 131 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular, frame residence with period influences. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound. This house originally stood at 139 West Ferry, and was moved here in 1911.

MAP: Sanborn Map (Revised 1986) – Plate 92



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-5)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 139 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

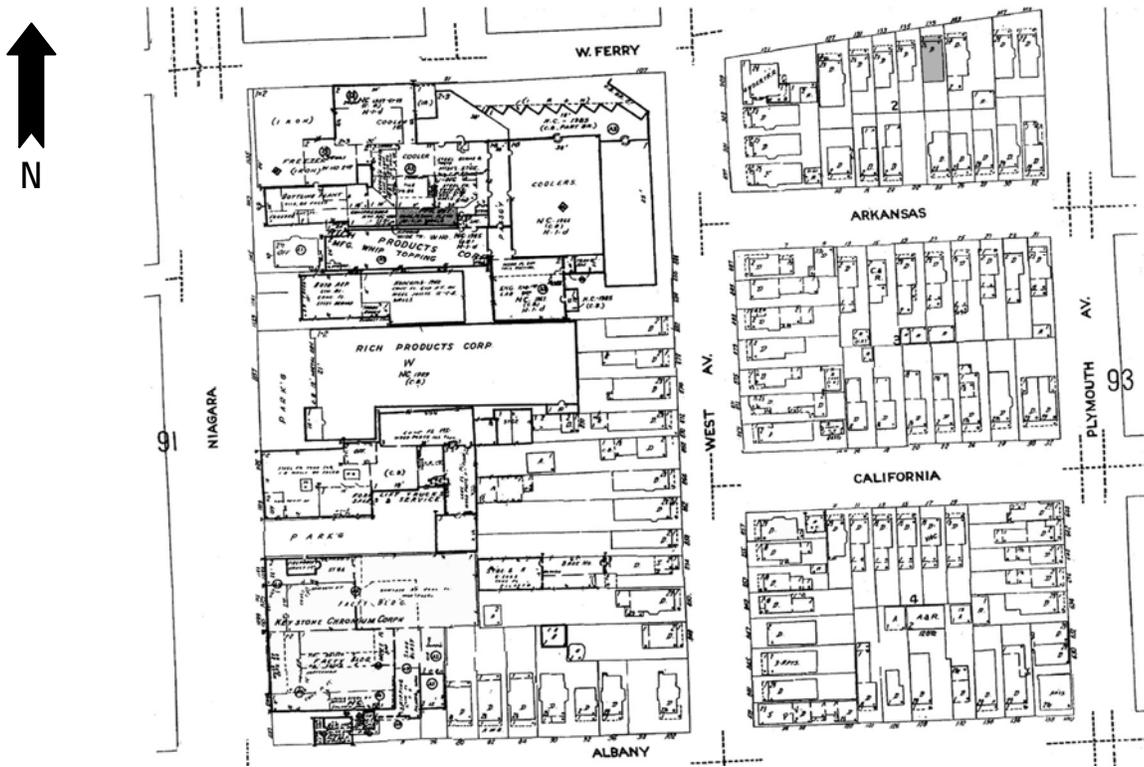
The two-family house at 139 West Ferry Avenue is set on a small slightly trapezoidal lot, located on the south side of the street, on the block between West Avenue and Plymouth Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a mixed residential area of the south western section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular, frame residence with mixed period influences. It has a roughly rectangular plan. The façade has a full-width porch with ½-height slender paired square column supports spaced by brick columns set on brick piers that flow into the solid brick rail and continue down, hipped pent overhang, and entry stair in the west. The main entrance with modest sidelight and frame is located in the north bay of the facade. A triple window group occupies the east bay. The second floor façade has a flat roofed porch with square column supports and open wood rail, a porch entrance in the west over the main entrance and a paired window with leading in the east. A paired window punctuates the gable end. Exterior wall fabric is wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. Tall brick chimney on the lower east slope. Additional detailing includes modest corner pilasters, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 139 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular, frame residence with mixed period influences. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound. Built for Margaret A. Chamberlain.

MAP: Sanborn Map (Revised 1986) – Plate 92



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 160 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

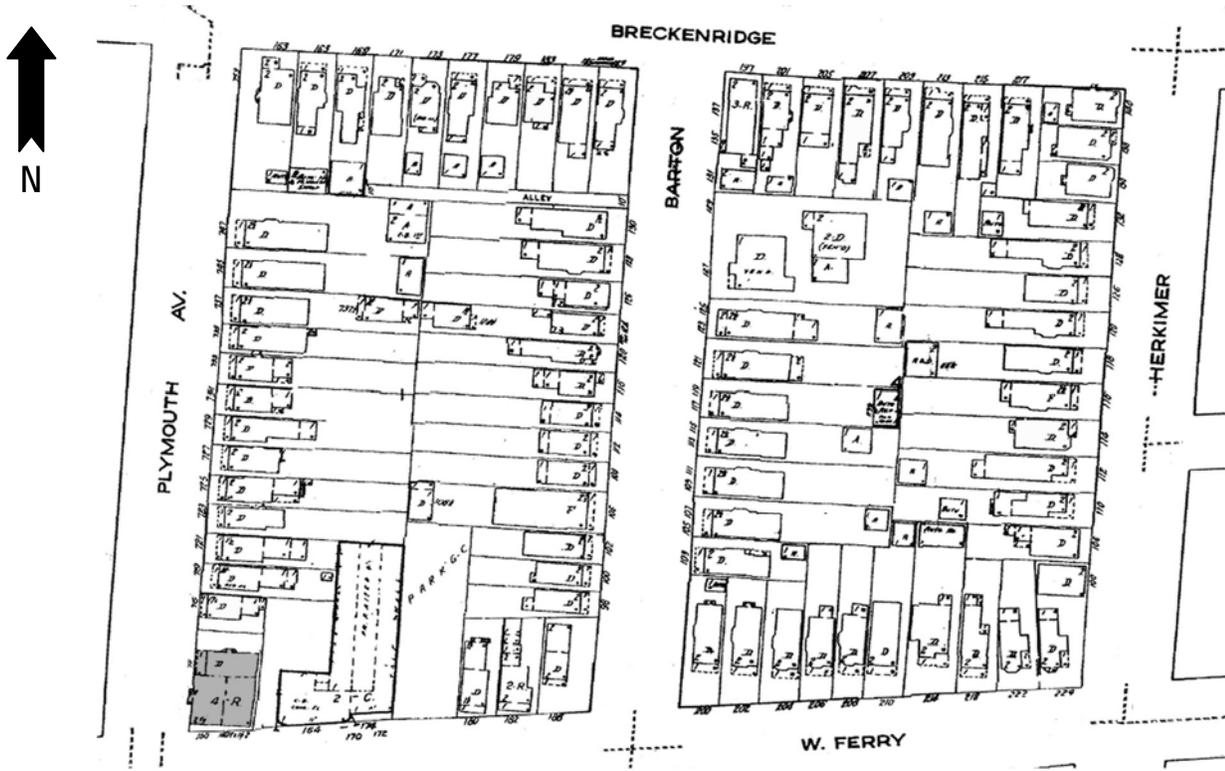
The multiple-family house at 160 West Ferry Avenue is set on a large slightly trapezoidal corner lot, located on the north side of the street, on the block between Plymouth Avenue and Barton Street, at the east side of the intersection of Plymouth Avenue and West Ferry Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a mixed residential area of the south western section of the Grant-Ferry-Forest neighborhood.

A large two-and-one-half story, hipped and complex cross gabled, urban, frame residence of Queen Anne influenced design. It has a roughly rectangular plan and is set on a stone foundation. The dwelling is oriented with main entranceways and feature fronting both West Ferry Avenue and Plymouth Avenue. The West Ferry façade presents a symmetric roofline with low set pent enclosed gabled wall dormers at the corners over each side bay accented by wide (now boarded) window, central hipped dormer with two even-spaced single windows, and a higher small gabled dormer with elaborate verge boards and trim set into the top of the hipped dormer. Entrance centered on the lower façade; additional entrance within a triangular niche in the east bay. Lower windowing even spaced, though no distinct pattern; pentet belt course at first story. Second floor façade has a centered grouping of paired window and side single; additional single window in either side bay. Elevation fronting Plymouth has an additional entrance and gabled wall dormer on the forward block; rear section narrowed with simple shed roof porch, yet another entrance under the porch, and gabled dormer with brackets. Exterior wall fabrics are wood clapboard and shingle. Fenestration is varied, with primarily one-over-one double-hung wood sash, side sliding, fixed. Brick chimney at the lower edge of the forward west roof slope. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 160 West Ferry Avenue is significant as a good representative example of a large two-and-one-half story, hipped and complex cross gabled, urban, frame residence of Queen Anne influenced design. A large and very unusual frame multiple unit dwelling. Possible alterations.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-35)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 219 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Social Current use \_\_\_\_\_

Architect/Builder, if known Thomas W. Harris Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	--------------------------------	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: second and third stories removed (1974); windows altered/bricked Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

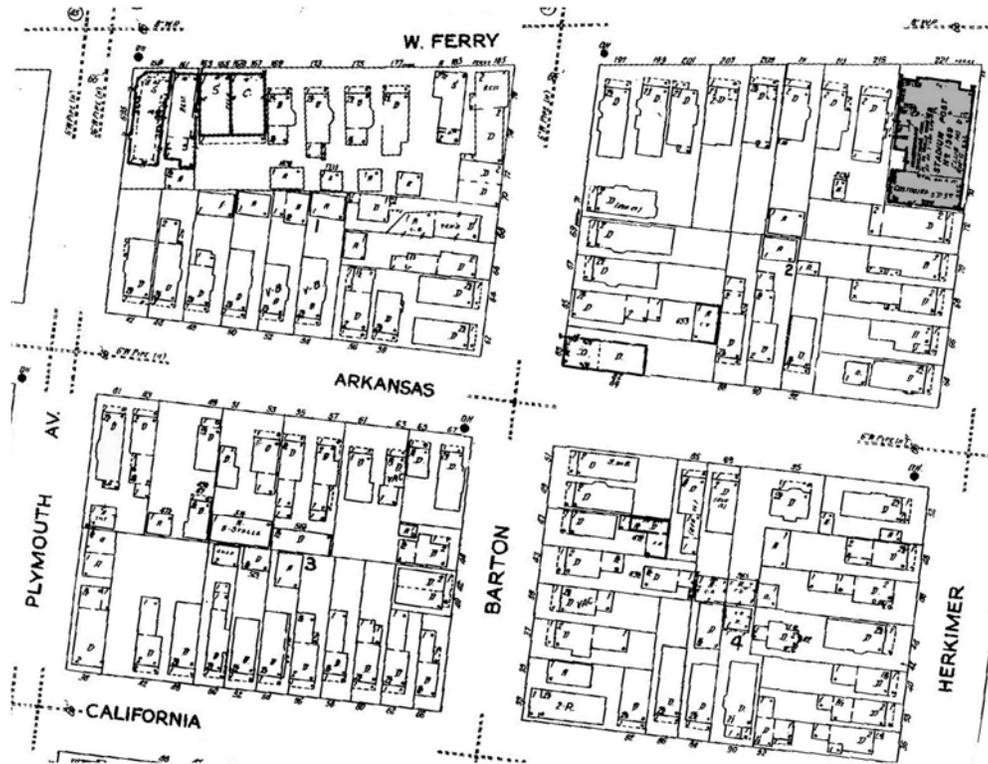
The building at 219 West Ferry Avenue is set on a standard slightly trapezoidal corner lot, located on the north side of the street, on the block between Barton Street and Herkimer Street, at the west side of the intersection of Herkimer Street and West Ferry Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a mixed residential area of the south western section of the Grant-Ferry-Forest neighborhood.

An altered urban brick community building of three story height originally, now one-story. The double door main entrance is located centered on the West Ferry Avenue, between two large projecting pilasters and reached by wide entry stairs. Two-tone brick exterior, with lighter brick on the lower portion. Stone belt course with patterned brick ribbon; additional lower stone molding. Large, slightly recessed, multi-paned window openings of elongated proportions, with noted brick framing set on either side of the focal entranceway; windows now bricked and replaced with smaller simpler fenestration. Similar windowing spaced by plain brick pilasters defines the side elevations. Two-tone brick exterior, with lighter brick on the lower portion. Stone belt course with patterned brick ribbon; additional lower stone molding.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 219 West Ferry Avenue is significant as a representative example of a remaining architect designed, urban brick community building of noted style, despite heavy alterations. One of few such building in the Grant-Ferry-Forest neighborhood. Built as Mizpah Lodge #518 of the Independent Order of Odd Fellows (IOOF).

MAP: Sanborn Map (Revised 1986) – Plate 93



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-3)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 232 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential /Commercial Current use Residential/Commercial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
-------------	---	--------------------------------	--	--

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 232 West Ferry Avenue is set on a standard slightly trapezoidal corner lot, located on the north side of the street, on the block between Herkimer Street and Grant Street, at the east side of the intersection of Herkimer Street and West Ferry Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a mixed residential area of the south western section of the Grant-Ferry-Forest neighborhood.

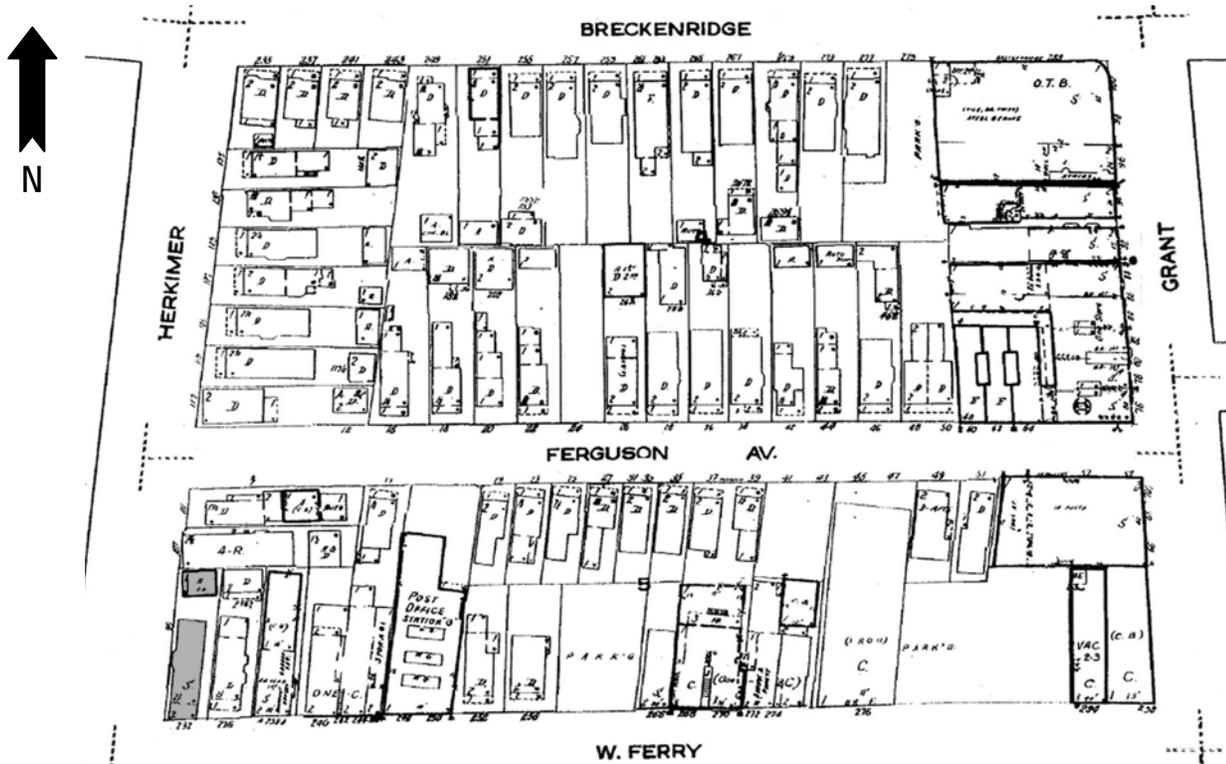
A two-and-one-half story, narrow, front gabled, urban, frame residence of Queen Anne styling with two-story storefront addition of mixed Craftsman influenced detail. It has a rough rectangular plan. The façade is dominated by the two-story, flat roofed story front. Large plate glass windows(bared) and signage occupy the majority of the lower façade. Main business entrance set in the rounded west bay corner with noted framing. Flared pent with large overhand, exposed rater tails, and scrolled bracketing at the first story level. Second floor façade has a centered triple window group; noted frieze and rafter tails at roofline. Gable end of the residential block visible over the storefront, punctuated by a framed paired window with latticed uppers. Full-height polygonal bay on the west elevation of the residential block, flush beneath the slightly extending large pedimented dormer which extends from the main ridge. Residential side entrance at the rear of the west elevation. Two brick chimneys visible on the western roof slope, one exterior chimney on the west elevation. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash, fixed, and plate glass. Additional detailing includes modest corner boards, frieze, and framing.

A garage occupies the rear of the lot fronting Herkimer Street.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 232 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, narrow, front gabled, urban, frame residence of Queen Anne styling with two-story storefront addition of mixed Craftsman influenced detail. This store and flat building began as a small dwelling, and received additions and alterations in 1897, 1911, 1916 and 1927. Storefront add-ons to existing residential structures was a common practice of the era, seen most frequently in the West Side on the Elmwood strip.

MAP: Sanborn Map (Revised 1986) – Plate 356



PHOTOGRAPH: (Grant-Ferry-Forest: R-37; N-19)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 390 West Ferry Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 390 West Ferry Avenue is set on a standard lot, located on the north side of the street, on the block between Parkdale Avenue and Hoyt Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included within the survey area is a part of the Historic District. The property is located in a mixed residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, hipped roof, urban, frame residence with mixed period Queen Anne influences. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with square column supports, solid with open top wood rail, flat frieze, and an entry stair in the west bay. The main entrance is located in the west bay of the façade. A single window sets next to the entrance, in the extreme west. A large window occupies the east bay. The second floor façade has an open porch with metal rail, a porch entrance in the west, and a polygonal oriel with triple windowing in the east bay contained under the eaves. Hipped roof dormer with paired window accent rests centered on the front slope. Similar dormer sets on the west roof slope. Moderate bay on the east elevation. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Brick chimney visible on the center ridge. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 390 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence with mixed period Queen Anne influences. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for John Green.







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 416 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Commercial

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1920

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

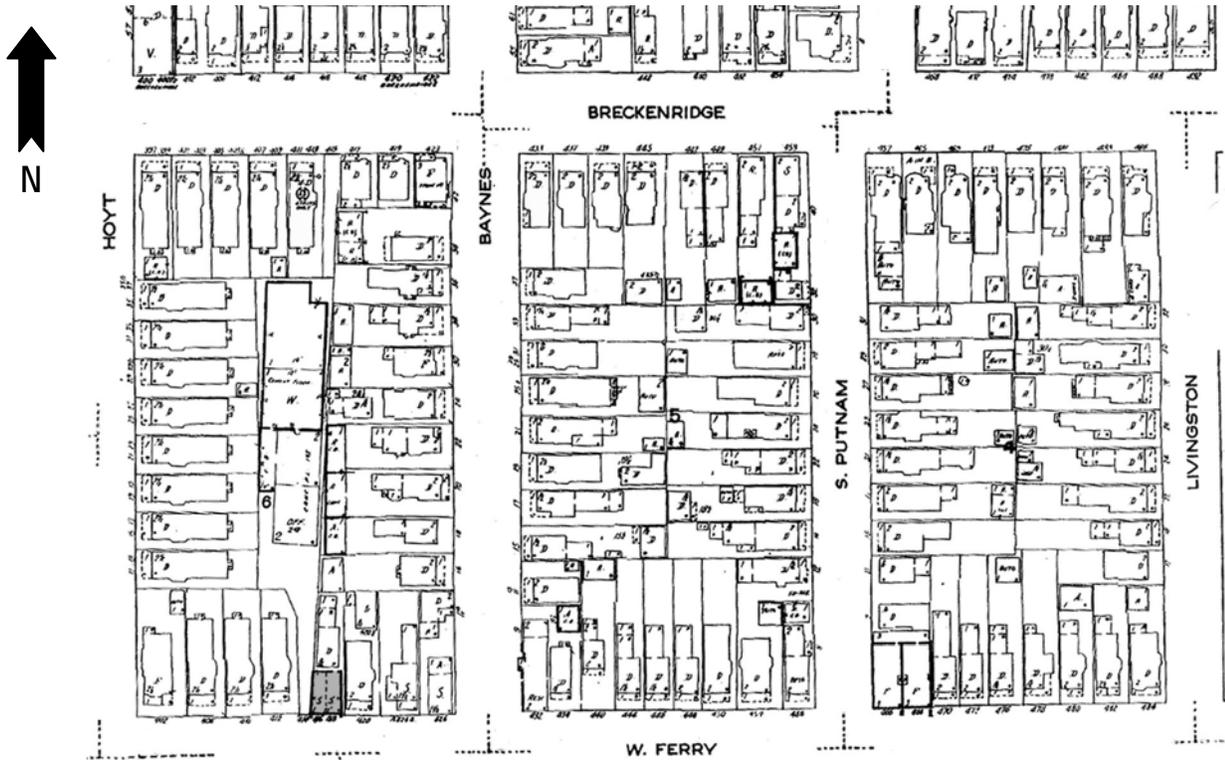
The building at 416 West Ferry Avenue is set on a trapezoidal lot, located on the north side of the street, on the block between Hoyt Street and Baynes Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included within the survey area is a part of the Historic District. The property is located in a mixed residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A quaint one-story, flat roofed, early, mid-twentieth century commercial building with mixed styling. It has a regular rectangular plan and no visible foundation. The façade is defined by two symmetric storefronts under a full-width metal awning. Main business entranceways centered in each side bay within a trapezoidal entry niche. Large plate glass window to either side. Front roof parapet of modest height and design. Exterior is brick.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 416 West Ferry Avenue is significant as a good representative example of a quaint one-story, flat roofed, early, mid-twentieth century commercial building with mixed styling. This storefront was built in front of a c.1890 dwelling, and was enlarged in 1926.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-37; N-17)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 444 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	---	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

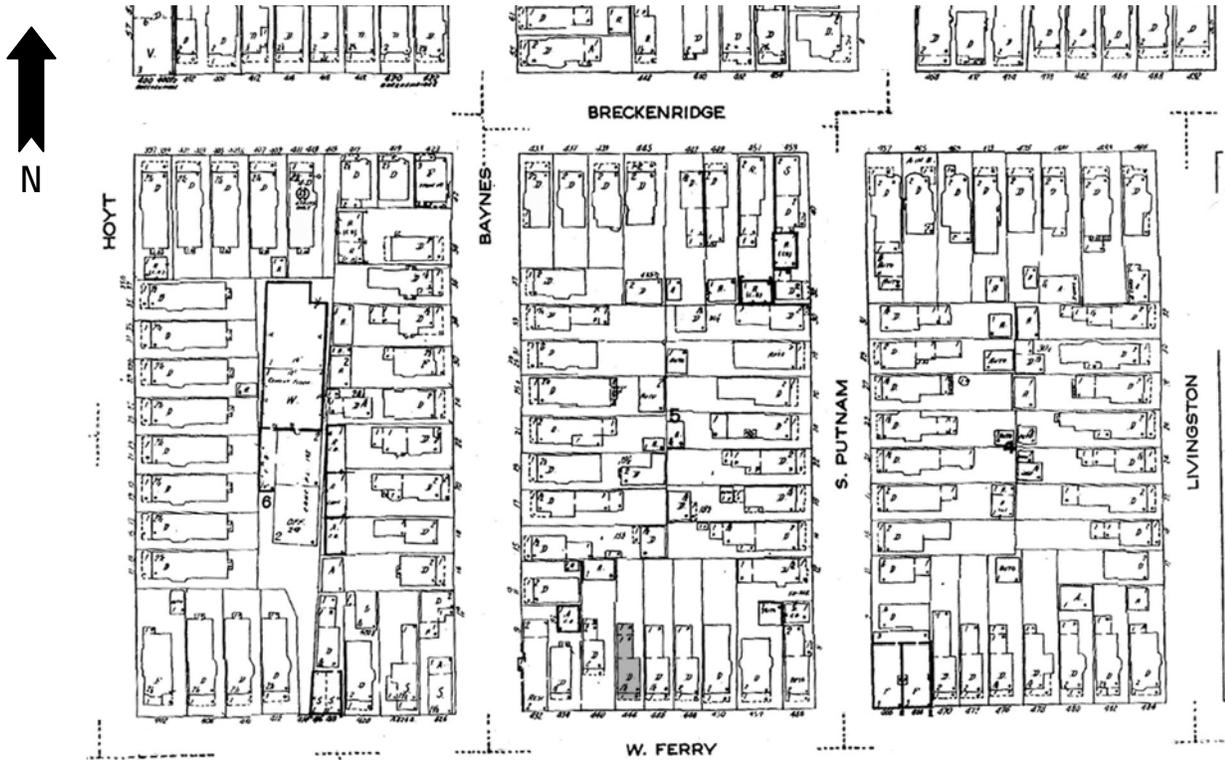
The single-family house at 444 West Ferry Avenue is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Putnam Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included within the survey area is a part of the Historic District. The property is located in a mixed residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A one-and-one-half story, front gabled, urban, vernacular, frame residence with mixed period influences. It has a slight ell plan with main block and narrowed rear block. The façade is defined by simple even spaced. The main entrance is located in the west bay of the façade. Two evenly spaced single windows occupy the remained of the façade. The upper façade is distinguished by similar windowing spaced between that of the lower level. Rear block of lesser height ; small shed roof, lean-to extension at far rear. Exterior wall fabric is wood clapboard, with several sections of decorative cut board on the façade. Fenestration is one-over-one double-hung wood sash and fixed. Modest detailing includes simple corner boards, verge boards, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 444 West Ferry Avenue is significant as a good representative example of a one-and-one-half story, front gabled, urban, vernacular, frame residence with mixed period influences. Such vernacular and simple folk structures, often embellished with modest detailing of the prevailing architectural style, were a practical alternative to the more high-styled homes of the time, though less frequently seen in this West Side neighborhood in which singles and doubles of varying Queen Anne influence abound.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-35; N-10)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 455 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 455 West Ferry Avenue is set on a standard slightly trapezoidal lot, located on the south side of the street, on the triangular block cut by Chenango Street and Massachusetts Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a mixed residential area of the south central section of the Grant-Ferry-Forest neighborhood.

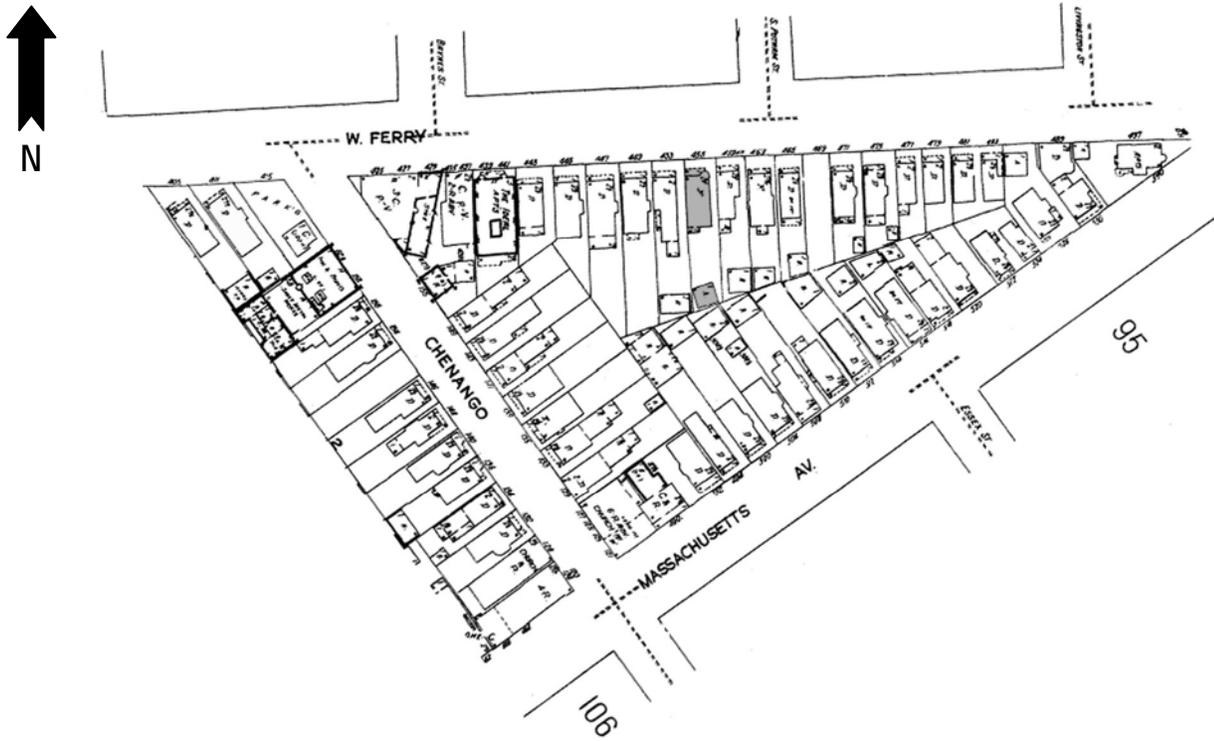
A two-and-one-half story, side gabled, urban, residence of a mixed Queen Anne, Colonial influence. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch with ¾-height slender square columns set on a solid capped stone rail that extends into the foundation, small frieze, and an entry stair in the west bay. The modestly framed main entrance is located in the west bay of the façade under the porch. A window with similar framing sets next to the entrance, further to the west. The east bay of the façade is dominated by a two-plus story engaged tower that continues through the porch with squared lower western corner and extends to the east slightly beyond the width of the façade to round the eastern corner; flat roofed with upper story continuing through to punctuate the lower western portion of the roofline. The second floor façade has a curved oriel with single window accent in the west bay, flush beneath the eave. A small hipped roof dormer with single window rests on the western section of the front slope. Multi-story rectangular oriel with large single window with arched transom visible on the west elevation, beneath the pent of the side gable. Small lower story rear extension to the west. Tall brick chimney near the western edge of the front roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest belt course, frieze, bracketing, trim and framing.

A garage sets in the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 455 West Ferry Avenue is significant as a good representative example of A two-and-one-half story, side gabled, urban, residence of a mixed Queen Anne, Colonial influence. Modestly styled urban singles of varying Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 105



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-37)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 466 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1897

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

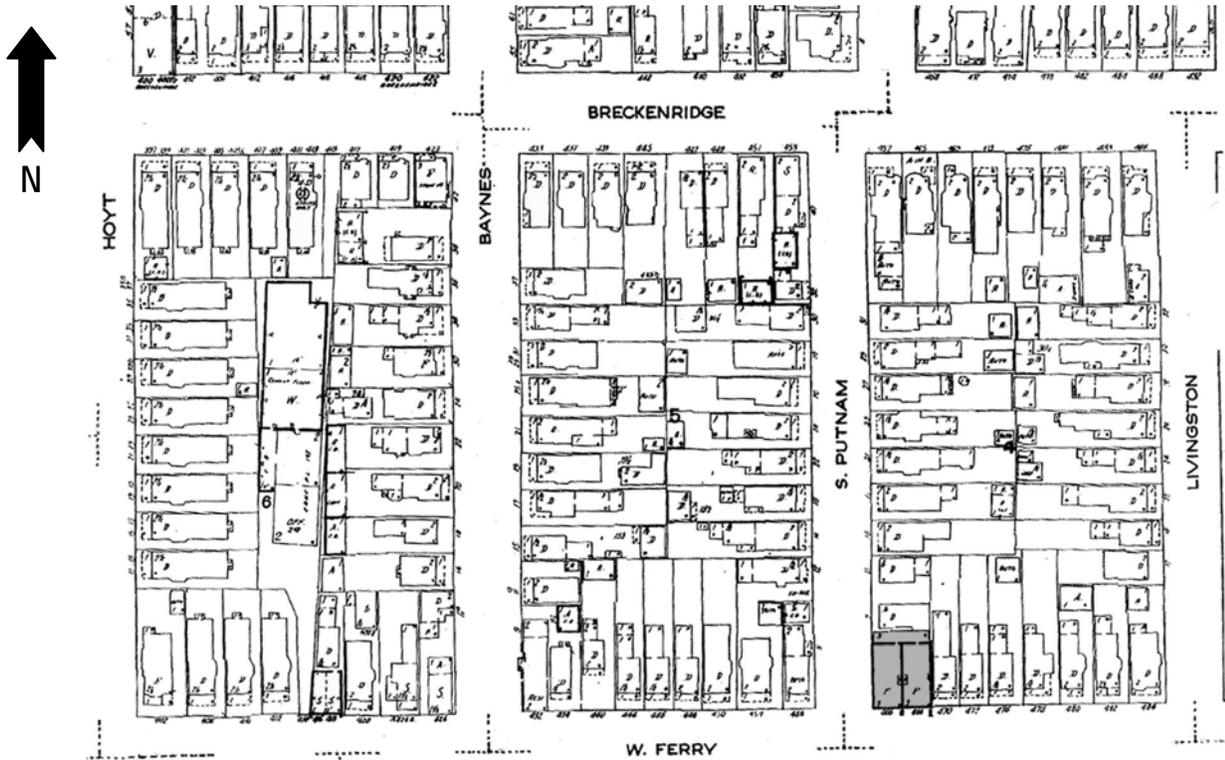
The apartment building at 466 West Ferry Avenue is set on a square corner lot, located on the north side of the street, at the intersection of Putnam Street and West Ferry Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

A three-story, late nineteenth century, flat roofed, brick apartment building of notable styling. It has a regular, large square plan which occupies the entire lot on which it is set. It is set on a visible stone foundation. The building is oriented with its façade fronting West Ferry Avenue. Tiered symmetric windowing with stone sills and shaped brick lintels define the façade. Side elevations have similar fenestration patterns. Main, paired with arched openings and transoms set within raised brick surround centered on the façade with molding and entablature. Shaped brick quoin ornament at the corners; matching ornament runs down the center of the façade. Elaborate raised and patterned brick work ribbon at the height of the building. Two brick chimney ends rise out of the west elevation wall. Three-story, shed roof, framed, clapboard extension runs along the rear of the building.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 466 West Ferry Avenue is significant as a good representative example of a three-story, late nineteenth century, flat roofed, brick apartment building of notable styling. Tenement built for Thomas Templeton. One of few in the survey area.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-35; N-9)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 470 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

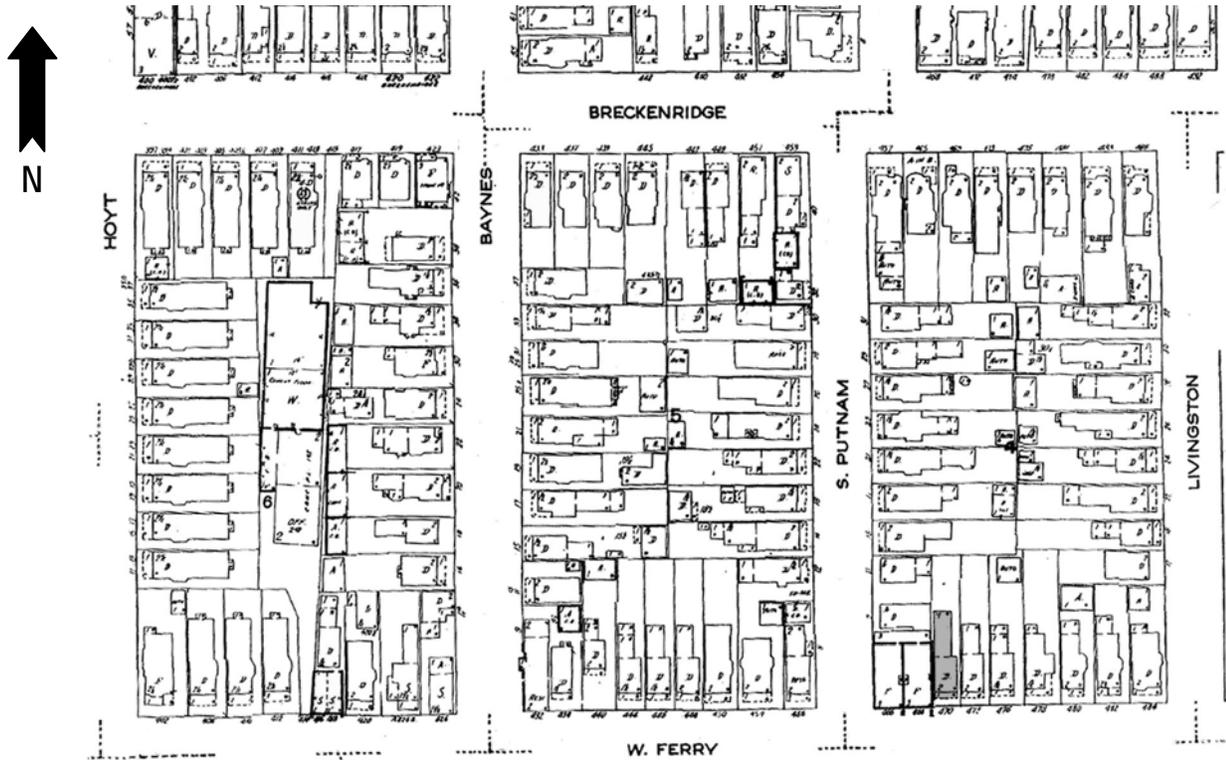
The single-family house at 470 West Ferry Avenue is set on a standard lot, located on the north side of the street, on the block between Putnam Street and Livingston Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

A two- story, front gabled, urban, vernacular, frame residence with mixed period influences. It has a slight ell plan with squared main block and narrowed rear block. The façade has a full-width, shed roof porch with slender square wood columns, open wood rail, vertical board covered foundation, and an entry stair in the extreme west bay. Façade further defined by simple even spacing. The modestly framed main entrance is located in the west bay of the façade. Two evenly spaced single windows with similar frame occupy the remainder of the façade to the east. The upper façade is distinguished by similar windowing spaced between that of the lower level. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Modest detailing includes simple corner boards, trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 470 West Ferry Avenue is significant as a good representative example of A two- story, front gabled, urban, vernacular, frame residence with mixed period influences. Such vernacular and simple folk structures, often embellished with modest detailing of the prevailing architectural style and varied additions, were a practical alternative to the more high-styled homes of the time, though less frequently seen in this West Side neighborhood in which singles and doubles of varying Queen Anne influence abound.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-35 N-8)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 472 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
-------------	--------------------------------	--------------------------------	--	--

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

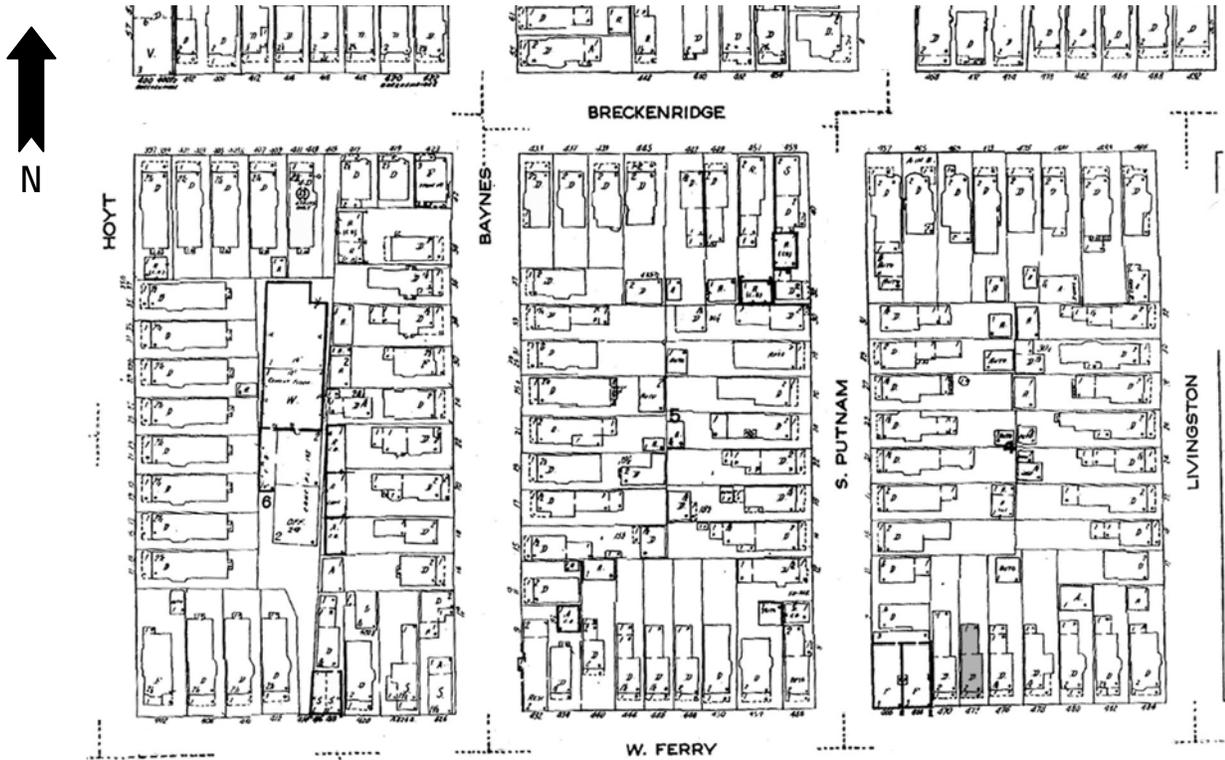
The single-family house at 472 West Ferry Avenue is set on a standard lot, located on the north side of the street, on the block between Putnam Street and Livingston Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

A two- story, front gabled, urban, vernacular, frame residence with mixed period influences. It has a slight ell plan with squared main block and narrowed rear block. It is set on a concrete block foundation. The façade has a full-width, shed roof porch with metal rail and supports, and a 1/3-width pediment over the entry stair in the extreme west bay. Façade further defined by simple even spacing. The modestly framed main entrance is located in the far west bay of the façade. A large triple window occupies the remainder of the façade to the east. The upper façade is distinguished by the simple even spacing of three single windowing. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with 6/1 windows in triple window group on the lower facade. Modest detailing includes simple corner boards, belt course, trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 472 West Ferry Avenue is significant as a good representative example of a two- story, front gabled, urban, vernacular, frame residence with mixed period influences. Such vernacular and simple folk structures, often embellished with modest detailing of the prevailing architectural style and assorted additions, were a practical alternative to the more high-styled homes of the time, though less frequently seen in this West Side neighborhood in which singles and doubles of varying Queen Anne influence abound.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-35; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 480 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: façade remodeling (1932) Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 480 West Ferry Avenue is set on a shortened lot, located on the north side of the street, on the block between Putnam Street and Livingston Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

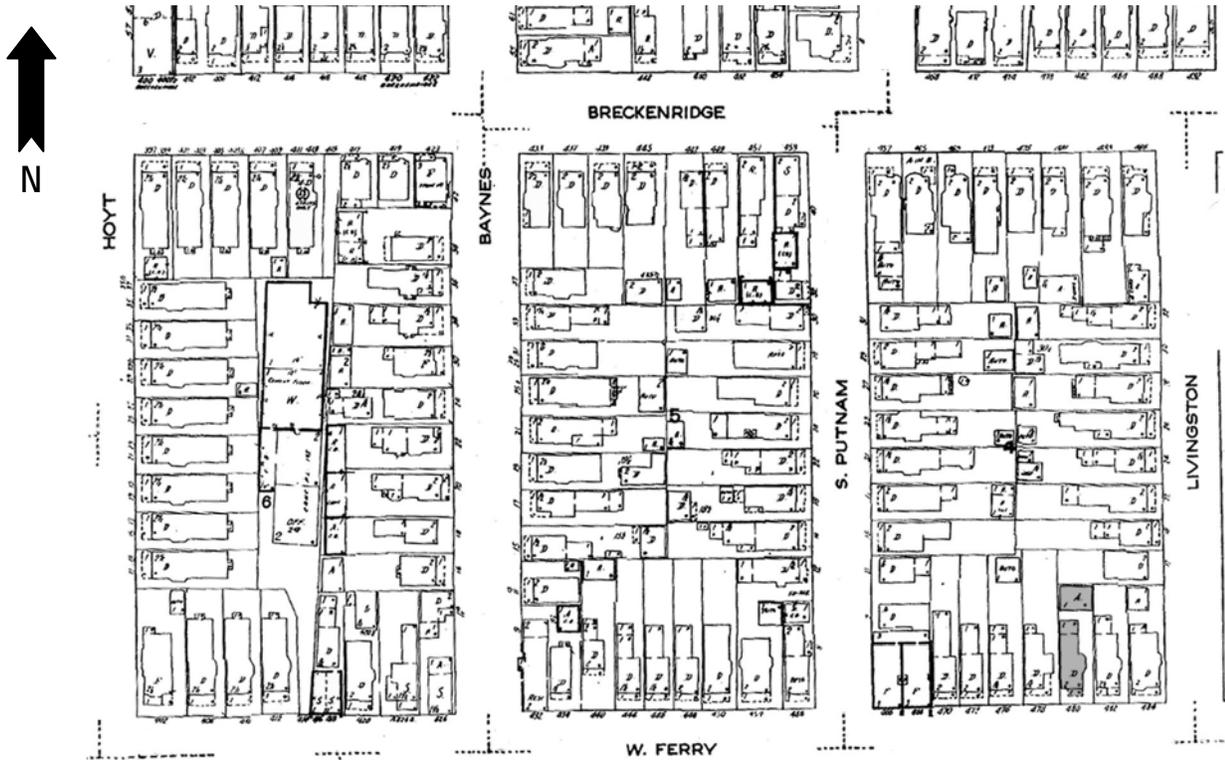
A two-and-one-half story, front gabled, urban, simple frame residence with mixed styling and added detail. It has a slight ell plan with squared main block and narrowed rear block. It is set on a stone foundation. The façade has a half width porch in the east, with ¾-height square column supports set on brick piers that flow into the porch's brick foundation, metal rail, modest frieze space, and flared pent. The modestly Tudor-styled, flattened arch, main entrance with stone framing is located in the west bay of the façade, within a steeply gabled, ½-width, enclosed, brick vestibule. Large French doors with faux arch shaping and sidelighted surround occupy the east bay of the façade under the porch. The second floor façade has a ½-width open porch in the east bay, with metal rail and a porch entrance centered in a large triple window group. A triple window group punctuates the pent enclosed front gable end. Exterior wall fabrics are wood clapboard with brick fronted facade. Fenestration is primarily one-over-one double-hung wood sash and fixed, with 6/6 windowing on the second story triple window.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 480 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, simple frame residence with updated, added Tudor styled detail on the facade. Such simple urban vernacular structures were often embellished with modest detailing of the prevailing architectural style, sometimes, as in this case, many years after the original construction of the building. Tudor style front remodeled in 1932.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-35; N-6)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 484 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1892

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 484 West Ferry Avenue is set on a shortened corner lot, located on the north side of the street, at the west side of the intersection of West Ferry Avenue and Livingston Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

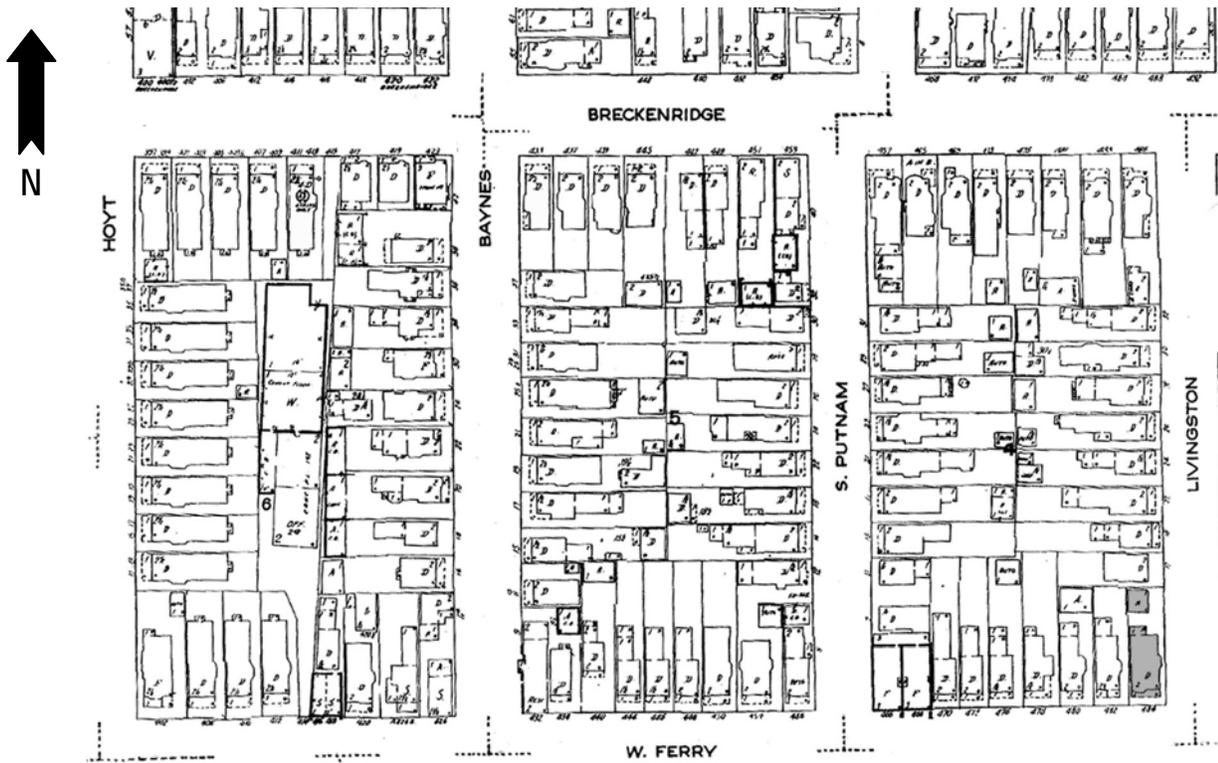
A two-and-one-half story, side gabled, urban, frame residence of a Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, shed roof porch to the south, with metal rail and supports, noted frieze and cornice with ornamental bracketing, a ½-width elaborate scrollwork pediment in the west, and an entry stair in the east. The main entrance is located in the east bay of the façade. A single window sets next to the entrance, further to the east. The west bay of the façade is dominated by a two-plus story, projecting polygonal bay that continues through the lower porch, up the second story, stopping to punctuate the lower west section of the front roof with a turreted dormer. The second floor façade has a wide single window in the remaining east bay. A small, steeply gabled dormer with single window accent rests on the lower eastern section of the front roof slope. Trim enclosed side gable ends punctuated with varied window groupings. Two-story, protruding, polygonal bay with peaked hipped roof that extends over the rear portion if the side gable end visible on the east elevation. Rear section of residence not included under main block's side gable. Exterior wall fabric is clapboard with wood shingle. Fenestration is primarily one-over-one double-hung wood sash, hoper, and fixed, with multiple panes and leading. Additional detailing includes small corner boards, frieze, cornice, and framing.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 484 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of a Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for high middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for E. G. Wolz.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-35; N-5)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 496 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1886

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : faux brick facing

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. \_\_\_\_\_

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 496 West Ferry Avenue is set on a shortened corner lot, located on the north side of the street, at the east side of the intersection of West Ferry Avenue and Livingston Street. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in a residential area of the south east section of the Grant-Ferry-Forest neighborhood.

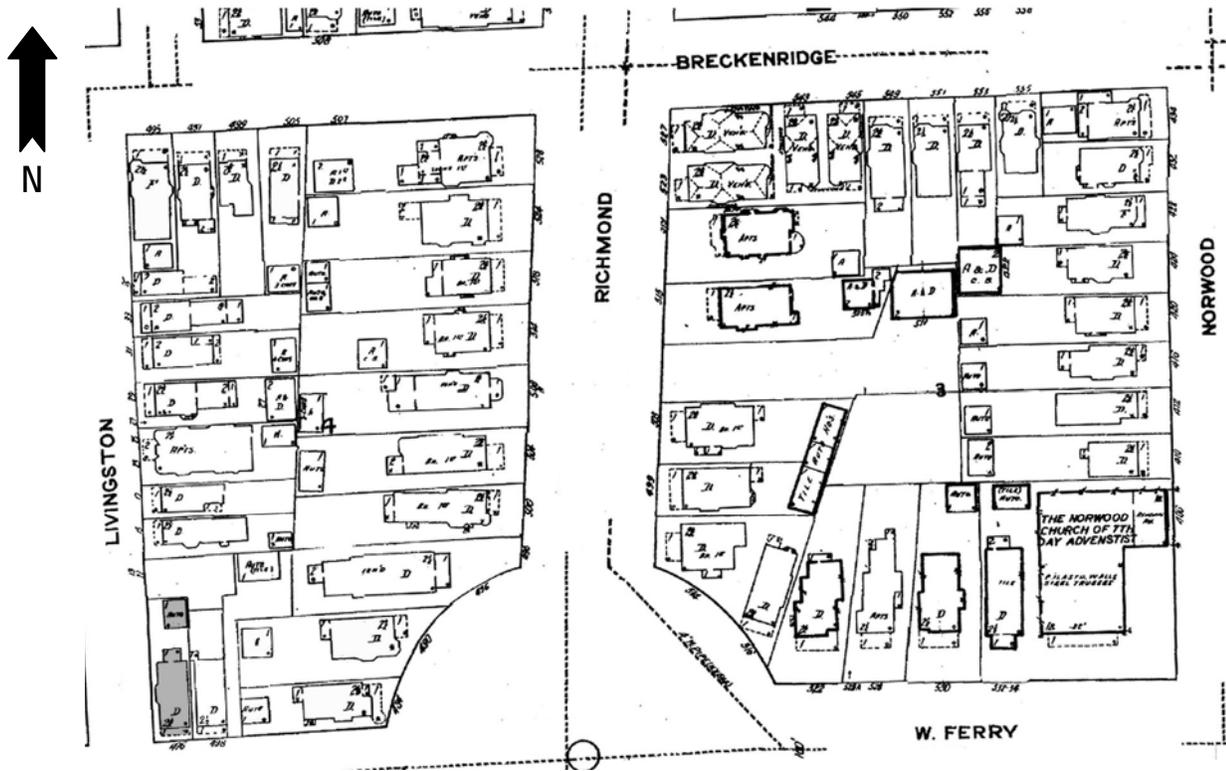
A two-and-one-half story, hipped and lower gabled, urban, frame residence of Queen Anne design and styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch with Doric columns, spindled wood rail, wide flat frieze, and an entry stair in the east bay. The main entrance is located in the east bay of the façade. A single window sets next to the entrance, further to the west. Two evenly spaced single windows occupy the west bay. The second floor façade has a polygonal oriel with triple windowing, in the west bay centered beneath a lower pent enclosed front gable and a remaining porch entrance in the east. Modern metal fire escape extends down from the window accent of the lower gable. Small shed roof dormer on the forward section of the west roof slope. Small, bracketed, first-story rectangular window bay on the west elevation. Two-story, protruding, polygonal bay further back on the west elevation, flush beneath the slightly projecting pent closed lower side gable. Small rear extension with second story porch. Exterior wall fabrics are clapboard with decorative cut board and wood shingle; brick facing on the dormer. Fenestration is primarily one-over-one double-hung wood sash and fixed. Two brick chimneys visible. Additional detailing includes ornamented belt course, frieze and cornice with dentils, raked trim, and framing.

A garage sets at the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 496 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower gabled, urban, frame residence of Queen Anne design and styling. Styled urban singles and doubles of Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-35; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____
OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 522 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895-1896

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

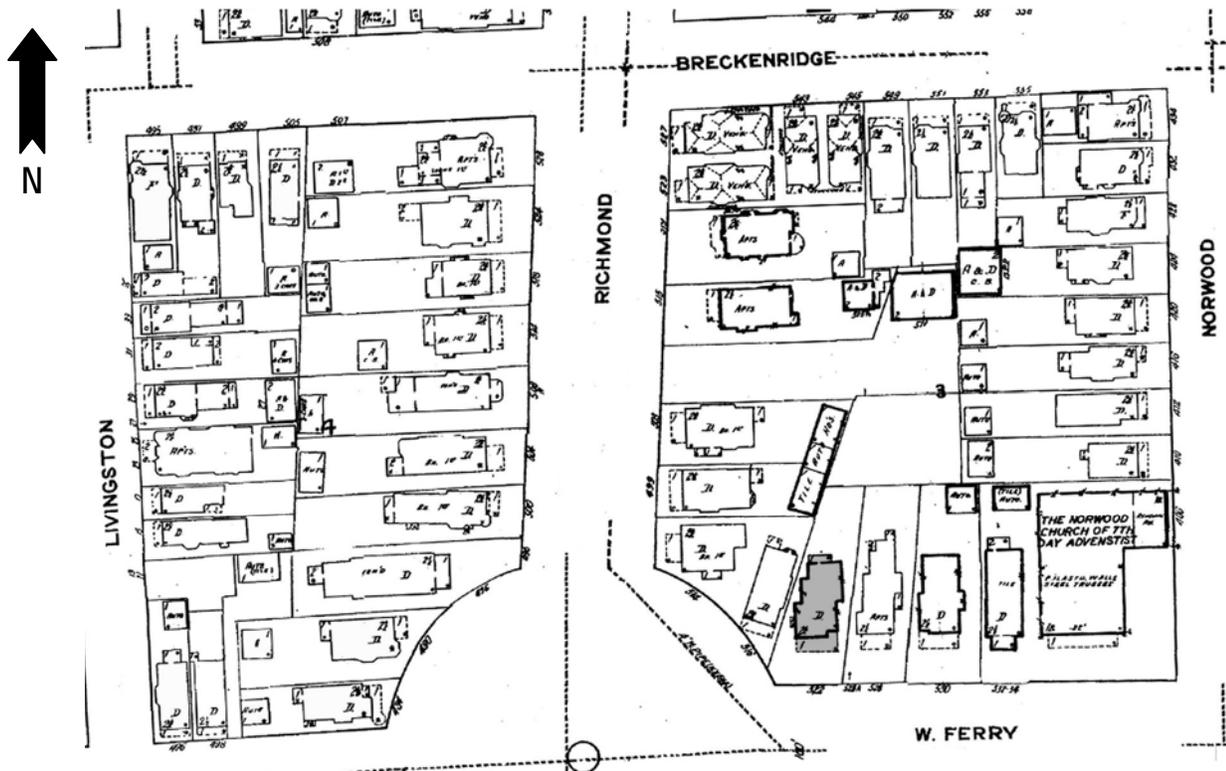
The single-family house at 522 West Ferry Avenue is set on a long trapezoidal lot, located on the north side of the street, at the edge of Ferry Circle on the block between Richmond Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, complex hipped roofed, urban, brick residence of noted Queen Anne design. It has a large irregular plan of a slightly S-shape, with multiple niches and projections. It is set on a stone foundation. The façade has a full-width porch with ¾-height rough cut stone columns set on a stone capped solid brick rail, wide frieze space with modest molding, and an entry stair on the west side. Main entranceway located set in the ¼-width recession in the east corner of the façade. Two wide-spaced single windows occupy the remaining western portion of the lower façade. The second floor façade has an open porch with decorative metal rail and a porch entrance set in the ¼-width recession in the east corner, over the main entrance. Remaining western portion occupied by two even-spaced single windows. Pedimented dormer accented by an altered triple window group with pilastered mullions and fanlight in the pediment rests centered over the eastern forward hipped slope. Multiple hipped roof dormers with paired window accents on the east and west slopes. Subterranean garage with angled drive in the front to the east. Exterior wall fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes lookouts, ribboned framing, cornice molding, stone sills and lintels.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 522 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, complex hipped roofed, urban, brick residence of noted Queen Anne design. Styled urban singles of varying Queen Anne influence, such as this, were common housing for upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for E. B. Schearer. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-11)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 528 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Green & Wicks Date of construction, if known 1902

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

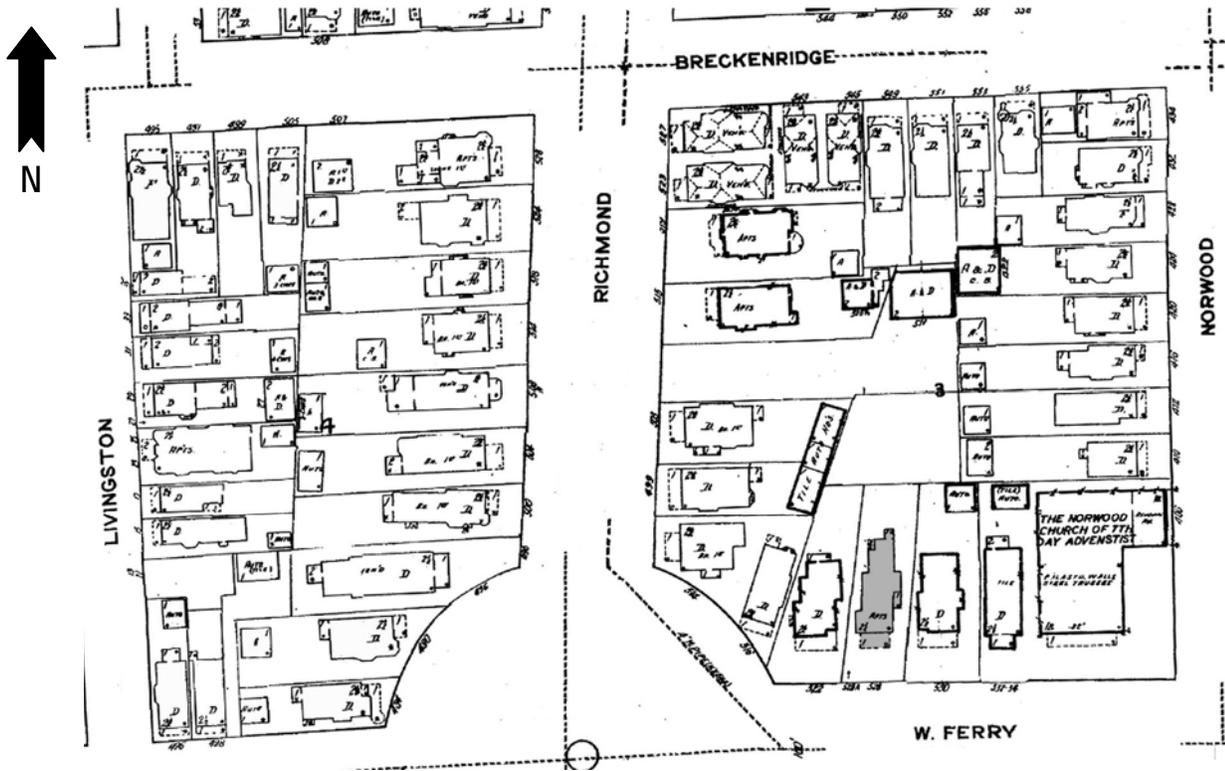
The multiple-family house at 528 West Ferry Avenue is set on a large T-shaped lot, located on the north side of the street, on the block between Richmond Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, complex flared hipped roofed, urban, frame residence of mixed Queen Anne design and detailing. It has a large irregular plan, with multiple niches and projections of varying size and depth. The façade has a ¾-width, flat roofed, enclosed, living porch to the east, with framed upper and centered sliding window on each face. Main entranceway located on the eastern elevation. The second floor façade defined by two wide-spaced single windows. Gabled dormer accented by a short paired window and elaborate decorative verge boards rests centered on the front roof slope. has an open porch with decorative metal rail and a porch entrance set in the ¼-width recession in the east corner, over the main entrance. Exterior wall fabric is wood shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Brick chimney visible to the rear on the west slopes and to the front on the east. Additional detailing includes extensive decorative bracketing, belt course, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 528 West Ferry Avenue is significant as a good representative example of a two-story, complex flared hipped roofed, urban, frame residence of mixed Queen Anne design and detailing. Such styled urban residences of varying Queen Anne influence, such as this, were common housing in the late nineteenth and early twentieth centuries on the West Side. Built for Robert M. Harding. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-10)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 531 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	--------------------------------	---	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

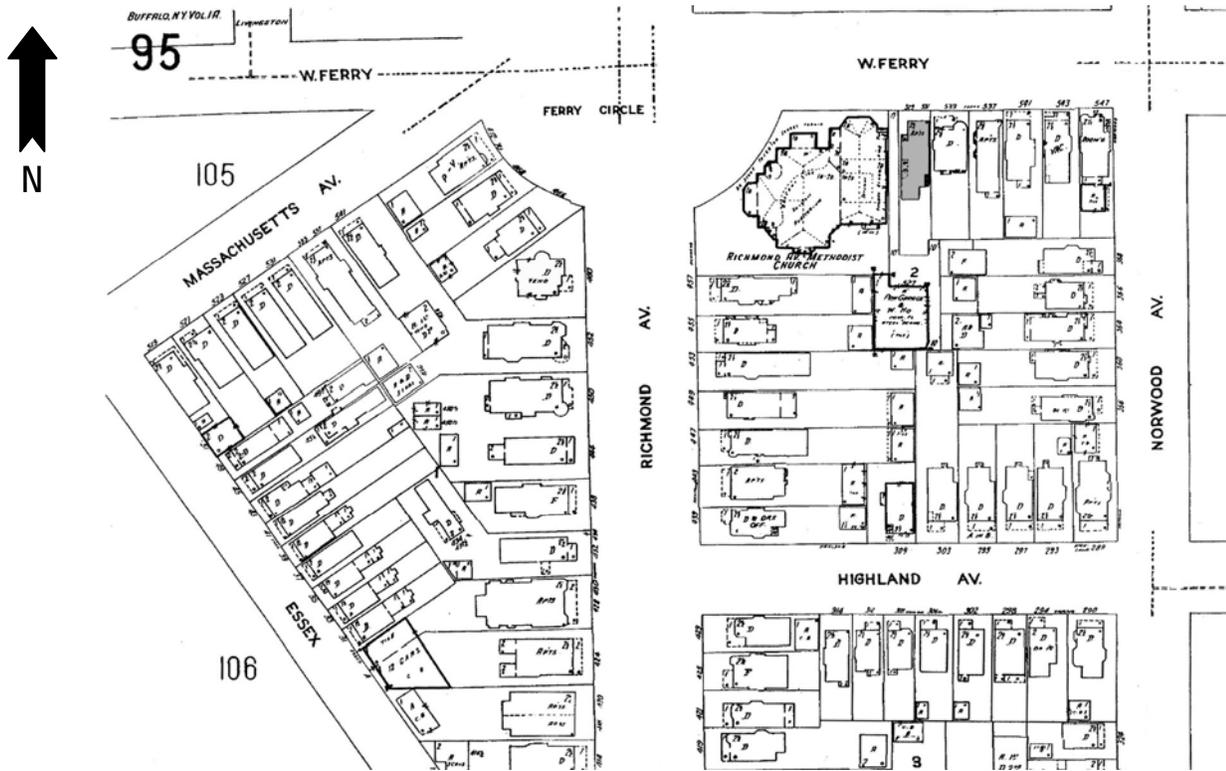
The multiple-family house at 531 West Ferry Avenue is set on a standard lot, located on the south side of the street, on the block between Richmond Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, substantial cross gabled, urban, brick residence with Queen Anne and subtle Tudor influence. It has an irregular, though roughly rectangular, plan with multiple niches and projections. The façade has a centered polygonal bay window on the lower story, a central shuttered paired window on the second story, a paired set of small fixed Queen Anne windows in the front gable end and trimmed peak. The main entranceway is located set in the forward ell of the side cross gabled section to the east, within an enclosed vestibule with hipped roof extending from the corner. Slender paired windows above the entrance vestibule. Brick chimney at the center ridge of the front gable. Secondary side entrance, two low gabled wall dormers over a lower story recessed porch with additional entrance, and second-story polygonal oriel projection included under the raised and extended main gable all visible on the rear section on the west elevation. Exterior wall fabric is brick. Fenestration is primarily one-over-one double-hung wood sash and fixed, all with wood sills. Additional details include reserved trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 531 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, substantial cross gabled, urban, brick residence with Queen Anne and subtle Tudor influence. Such styled urban residences of varying Queen Anne influence, such as this, were common housing in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 95



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-8)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 533 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1888

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	---	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

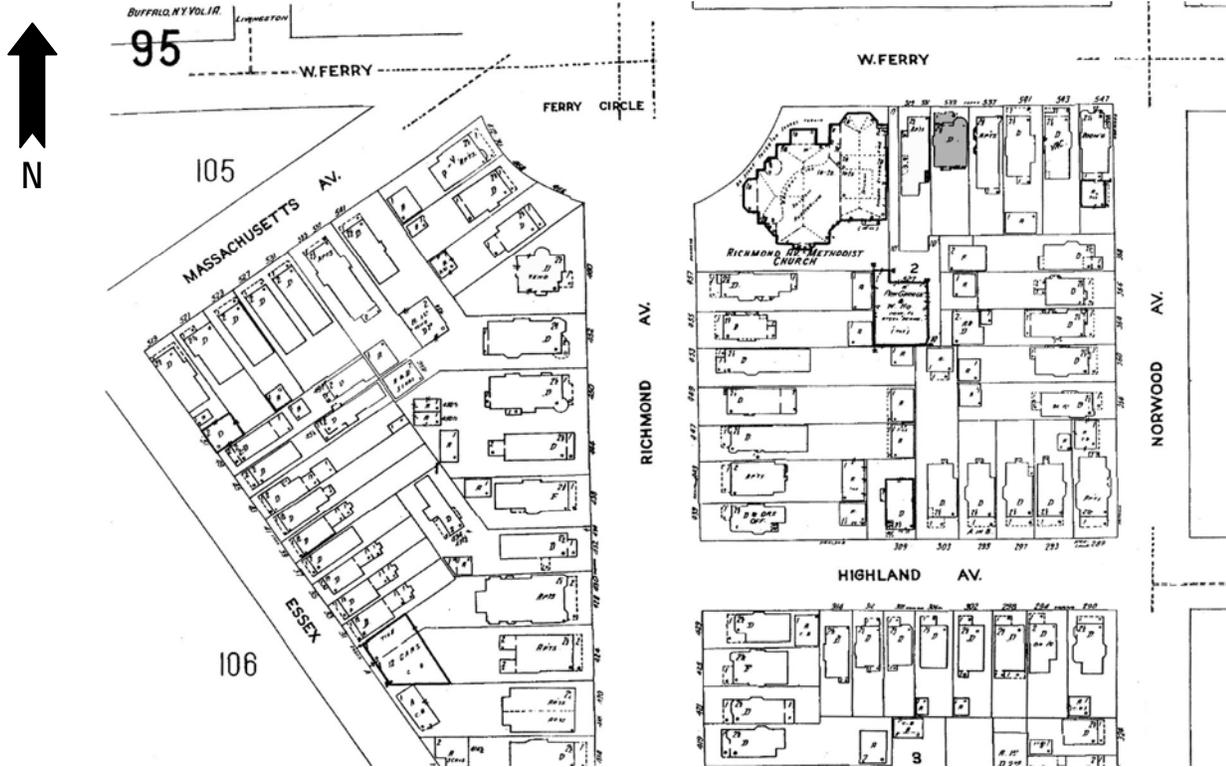
The single-family house at 533 West Ferry Avenue is set on a standard lot, located on the south side of the street, between Richmond Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, hipped and side gabled, urban, residence of Queen Anne style. It has a rough, shortened rectangular plan and is set on a stone foundation. The façade has a ½-width porch in the west, with metal rail and supports, small frieze, brick foundation, and an central entry stair. The modestly framed main entrance is located in the west bay of the façade under the porch. A window with similar framing sets next to the entrance, further to the west. The east bay of the façade is dominated by a two-and-one-half story engaged tower with conical roof. The second floor façade has an open porch in the west, with metal rail and a wide polygonal oriel with centered French door porch entrance. A small pedimented dormer with circular oculus accent rests on the western section of the front slope. Second-story rectangular oriel visible on the east elevation, flush beneath the framed and slightly extended side gable punctuated by a paired window. Tall brick chimney on the forward section of the west roof slope; exterior chimney visible on the east elevation to the rear of the side gable. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed' with leading and latticework. Additional detailing includes modest belt course, frieze, trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 533 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, hipped and side gabled, urban, residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for upper class families in the late nineteenth and early twentieth centuries on the West Side. Occupied by F. M. Chandler in 1890. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 95



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-14)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 534 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1921

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 534 West Ferry Avenue is set on a large rectangular lot that extends to the corner, located on the north side of the street, on the block between Richmond Avenue and Norwood Avenue (original lot size extended to include the adjoining corner lot at 336, following the demolition of the building at this site). West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

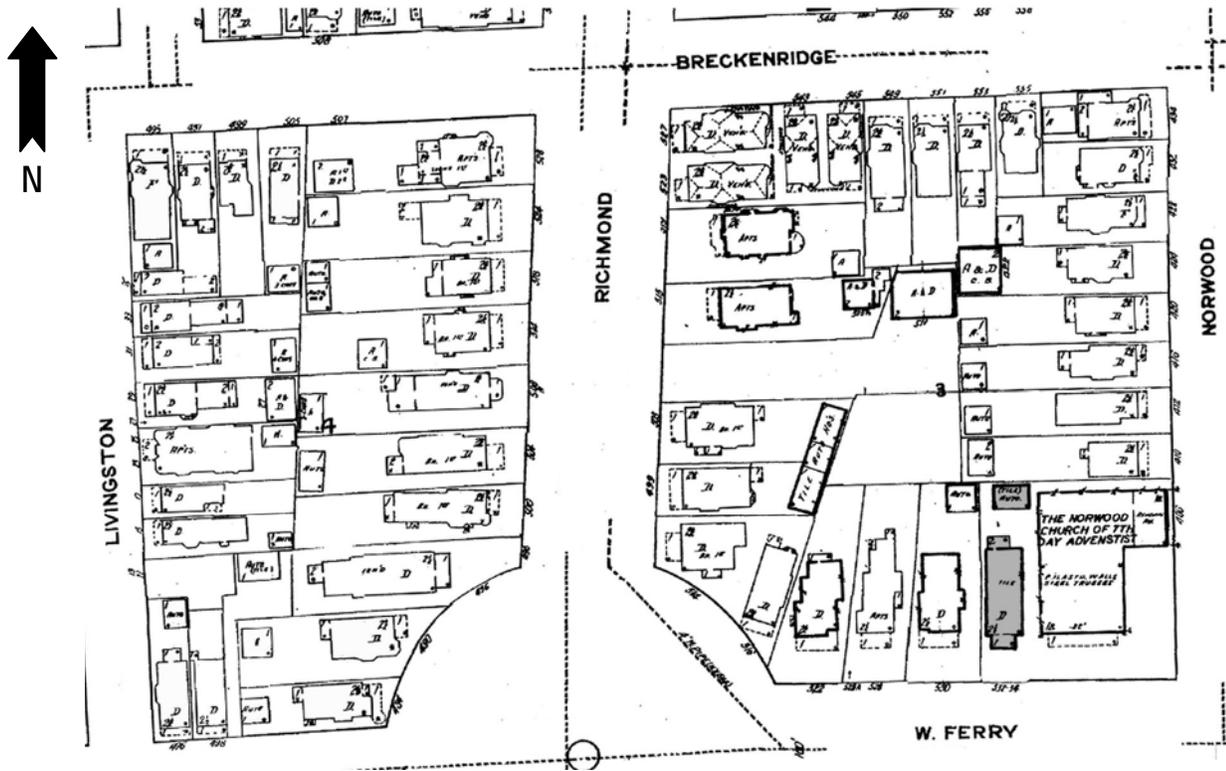
A two-story, hipped roofed, urban, residence with Spanish influences and detailing. It has a large rectangular plan and is set on a just visible stone foundation. The façade has a 7/8-width, enclosed, living porch to the east, accented by large even spaced multi-paned arched windows with sills and detailing. The second floor façade has an open porch with metal rail and French door entrances in either side bay. Main entranceway located on the western elevation, beneath a bracketed arched roof; additional arched window sets directly to the front of the entrance. Shed roof dormer accented with two small single windows extends from the main ridge on the west slope. Half-width rear extension to the west. Brick chimney centered low on the front roof slope. Exterior wall fabric is stucco. Fenestration is one-over-one double-hung wood sash, casement, and fixed. Additional detailing includes extensive wide overhanging eaves and subtle rafter tails.

A garage sets at the rear of the lot to the west.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 534 West Ferry Avenue is significant as a good representative example of A two-story, hipped roofed, urban, residence with Spanish influences and detailing. One of few in this West Side neighborhood. Built for L. W. Eighmy. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 359



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-11)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 543 West Ferry Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

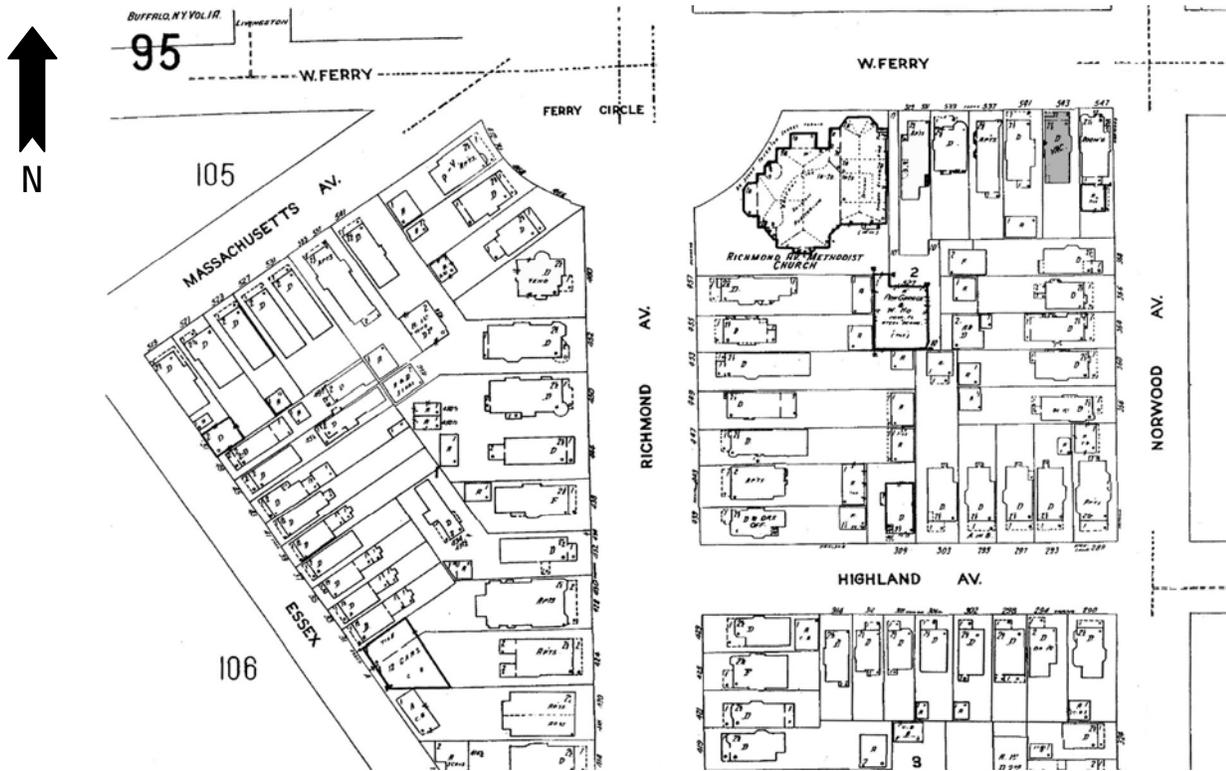
The single-family house at 543 West Ferry Avenue is set on a standard lot, located on the south side of the street, on the block between Richmond Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of mixed Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, shed roof porch of Craftsman influence: ¾-width, enclosed living porch to the east, with ribboned window upper, shingled base and covered foundation, and shingled frieze with flattened arch cutouts that flow into shingled pilasters set on stone piers that extend to the ground; ¼-width entrance porch in the extreme west of the façade with similar detailing. The main entrance is located in the west bay of the façade under the open porch, with a metal railed entry stair. The second floor façade has a polygonal oriel with triple windowing in the east bay flush beneath the slightly projecting front gable. A recessed quartet ribboned window group punctuates the enclosed gable end; decorative shingling of contrasting color in the peak. First-story, protruding, rectangular bay visible on the west elevation, beneath the gabled wall dormer with triple window accent. Additional bay on the west elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. Additional details include moderate trim and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 543 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of mixed Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for high middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 95



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-1)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 547 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 547 West Ferry Avenue is set on a standard corner lot, located on the south side of the street, at the west side of the intersection of West Ferry Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

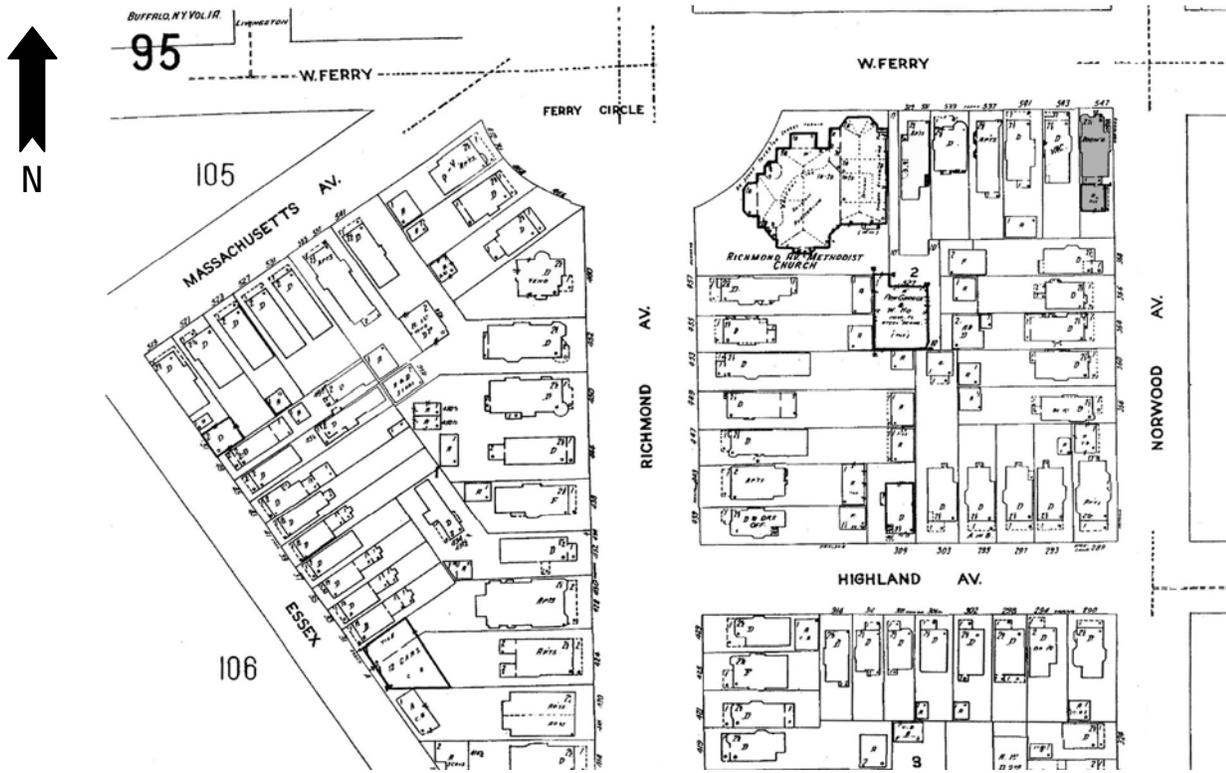
**NON-CONTRIBUTING**

A two-and-one-half story, hipped and complex cross gabled, urban, frame residence of Queen Anne design.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 547 West Ferry Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 35



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-9)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 558 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : faux stone facing	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 558 West Ferry Avenue is set on a standard corner lot, located on the north side of the street, at the west side of the intersection of West Ferry Avenue and Norwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

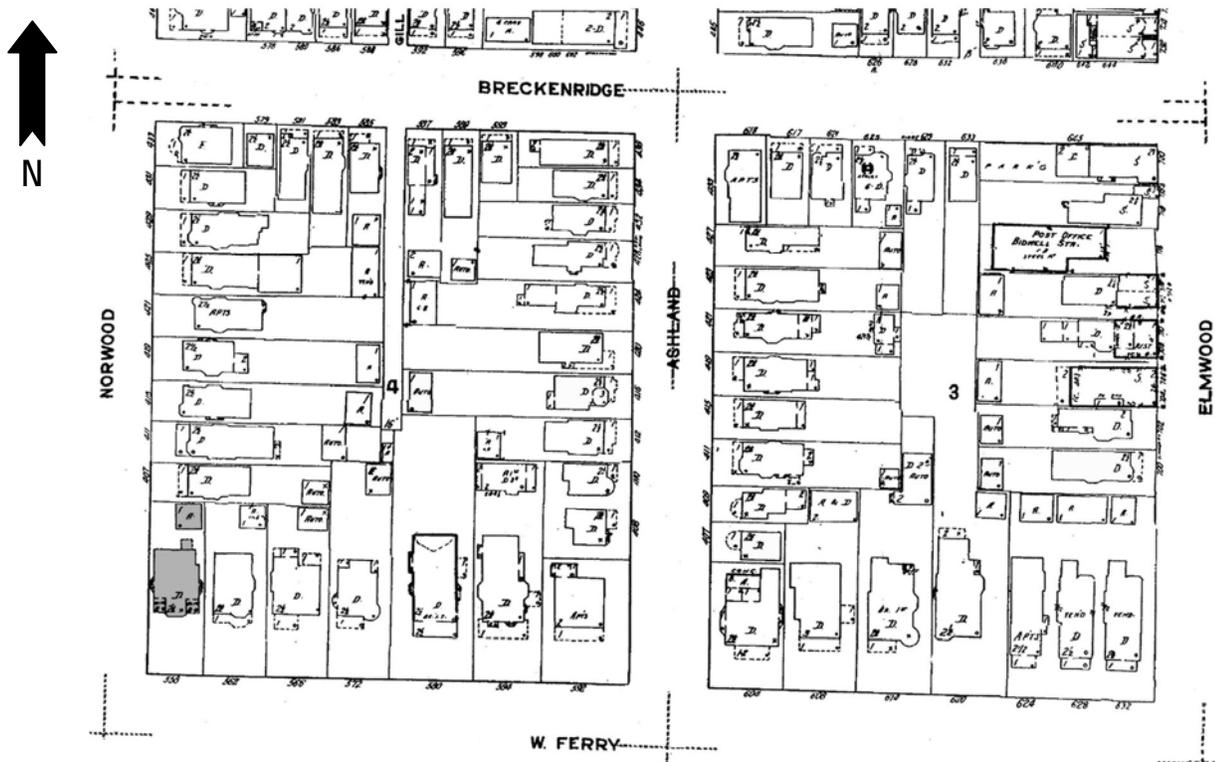
A two-and-one-half story, complex cross gabled and gambrelled, urban, frame residence of Shingle styling. It has a rough, shortened rectangular plan and is set on a stone foundation. The façade has a full-width open porch with solid rusticated concrete block rail that extends into the foundation and entry stair in the extreme east; porch continues with 1/3 width recessed porches in either side bay, with ¾-height slender column supports set on the rail. The main entrance is located under the porch in the east bay. The upper façade is defined by the steep, extending front gable; second story contained within. A two-story, projecting polygonal bay with triple windowing occupies the center 1/3 of the façade; peaked hipped roof meets and flows into the main crest of the roof, occupying the gable end. Two-story, flat roofed polygonal bay on the west elevation, centered under the side gambrel. A small Palladian window with modest enframement punctuates the gambrel peak. Rear section not contained under or within gambrel or extended gable; side gabled with upper open porch. Exterior wall fabric is faux stone facing with stucco on the lower façade. Fenestration is primarily one-over-one double-hung wood sash and fixed; notable leading. Additional detailing includes modest trim and framing.

A garage fronting Norwood Avenue occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 558 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, complex cross gabled and gambrelled, urban, frame residence of Shingle styling. A style characteristic of early twentieth century residences, though fairly unique in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound. One of several fine Shingle examples in the survey area. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-6; N-14)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 567 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1888

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	---	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

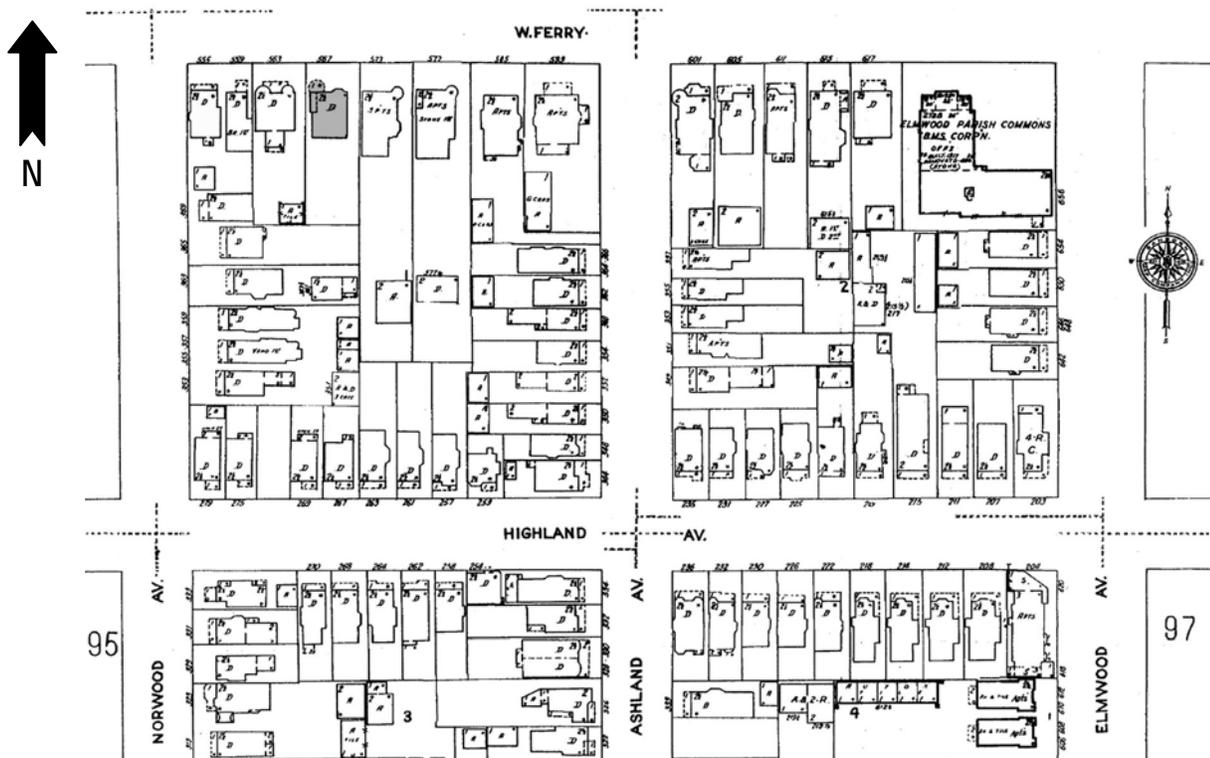
The single-family house at 567 West Ferry Avenue is set on a standard lot, located on the south side of the street, on the block between Norwood Avenue and Ashland Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, substantial cross gabled, urban, frame residence of Queen Anne style and design. It has a rough rectangular plan and is set on a brick and stone foundation. The façade has a 1/3-width, semicircular, hipped roof porch in the far west bay that wraps around the corner to continue with a rectangular shape partway down the west elevation. Porch has metal and supports, noted frieze, and an entry stair at the eastern edge of the forward portion. The main entrance is located in the west bay of the façade, under the porch. A wide single window sets to the east of the porch. A two-story polygonal bay with tiered triple windowing and lower awnings dominates the east bay of the façade; bay ends flush beneath the large, slightly projecting front gable end. A ribboned quartet window grouping with leading punctuates the lower gable end; two small windows and medallion accent the very peak. First-story, rectangular bay window with flared hipped roof visible on the east elevation. Large side gable projects slightly, as well; punctuated by multiple window group. Exterior wall fabrics are wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. An exterior brick chimney sets to the front on the east elevation.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 567 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, substantial cross gabled, urban, frame residence of Queen Anne style and design. Styled urban singles, such as this, of varying Queen Anne influence and detail were common housing for high middle and upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 96



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-9)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 577 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1891

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 577 West Ferry Avenue is set on an unusually long lot, located on the south side of the street, on the block between Norwood Avenue and Ashland Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

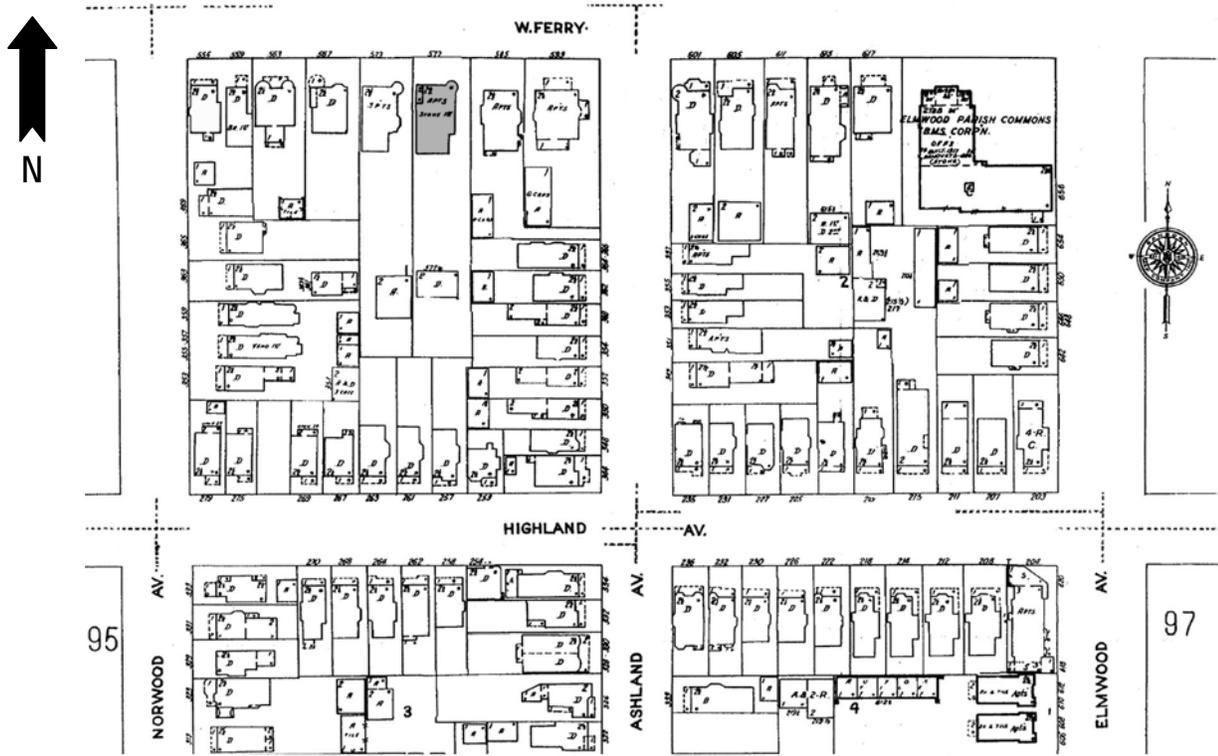
A two-and-one-half story, pyramidal hipped roof, urban, frame residence of Shingle influenced Queen Anne styling. It has a rough shortened rectangular plan and is set on a stone foundation. The façade has a ½-width, open porch in the west bay that wraps around the corner to continue as a recessed porch with metal rail and supports partway down the west elevation. The main entrance is located on the western elevation, under the recessed porch, with an entry stair. A wide paired window sets in the west bay of the façade. A two-story engaged tower with tall conical roof, dominates the eastern bay and corner of the façade. Second floor façade has a paired window in the east bay and centered slim leaded window. Flared hipped roof dormer with slightly recessed paired window rests centered on the front slope. Similar dormer sets on the eastern slope. Rear extension with second-story porch to the west. Exterior wall fabric is stone on the lower level with wood shingle upper. Fenestration is primarily one-over-one double-hung wood sash and fixed. Brick chimney sets to the front on the east roof slope. Additional detailing includes wide molded belt course, and minimal trim.

A back house occupies the rear of this long lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 577 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, pyramidal hipped roof, urban, frame residence of Shingle influenced Queen Anne styling. One of few houses of stone construction in the neighborhood. Styled urban singles, such as this, of varying Queen Anne influence and detail were common housing for high middle and upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for Annie B. Gridley. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 96



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 605 West Ferry Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1887

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 605 West Ferry Avenue is set on a larger standard lot, located on the south side of the street, on the block between Ashland Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

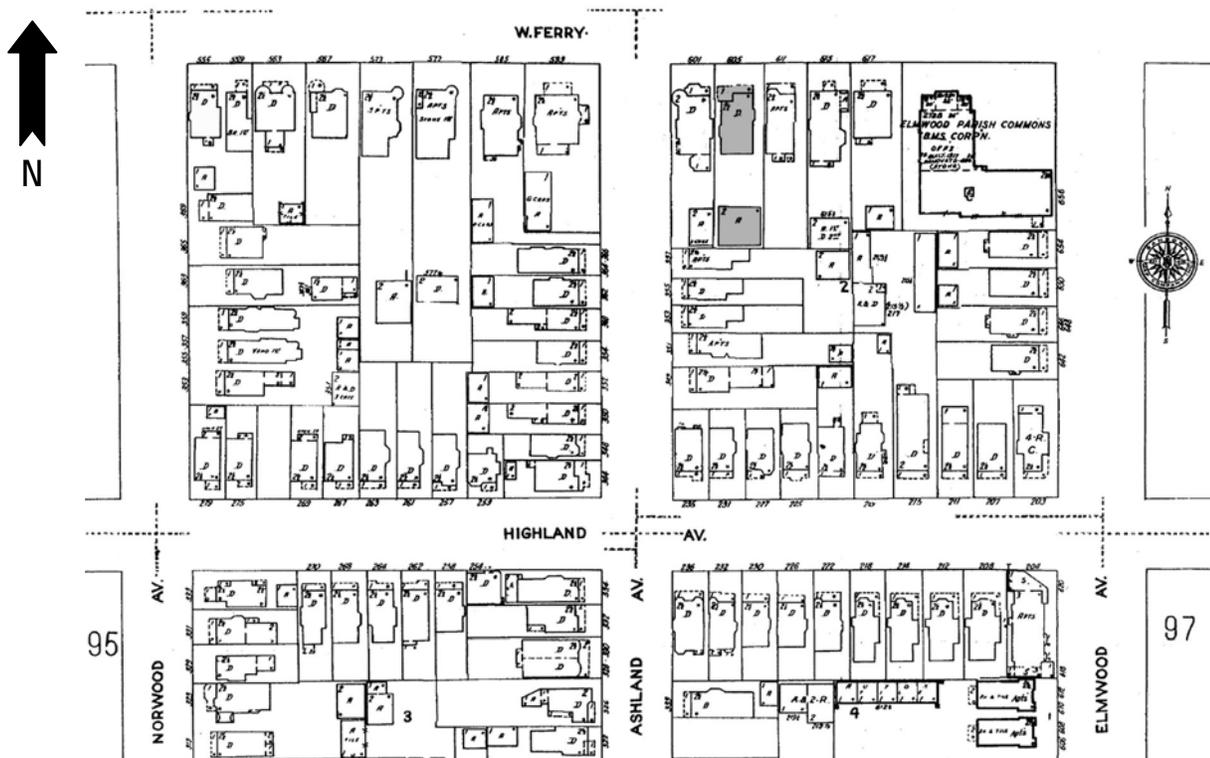
A two-and-one-half story, side and lower front gabled, urban, frame residence of a fine Queen Anne style. It has a rough rectangular plan. The façade has a full-width, flat roofed, porch with plain square columns, solid shingled rail, flat frieze, slight polygonal projection to the east, and an entry stair in the west. The main entrance is located in the west bay of the façade. A leaded window sets next to the entrance, further to the west. A large triple window grouping occupies the east bay. The second floor façade is defined by a large polygonal oriel with elaborate central French doors with surround and side windowing, centered on the lower front gable that dominate the forward roofline. Forward gable end accented with large, ornately enframed fanlight window and decorative wood shingle and trim. Triple window accented main side gable projects slightly with bracketing; two-story polygonal bay visible on the east elevation centered beneath it. Bay on the west elevation as well. Exterior wall fabric is clapboard with wood shingle. Fenestration is one-over-one, four-over-one, six-over-one, and eight-over-one double-hung wood sash and fixed, with multiple panes and leading. Additional detailing includes wide frieze and cornice trim with occasional dentils, bracketing, belt course, trim and framing.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 605 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, side and lower front gabled, urban, frame residence of a fine Queen Anne style. Styled urban singles of Queen Anne style, such as this, were common housing for upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 96



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-6)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 617 West Ferry Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known William S. Brickell Date of construction, if known 1912

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 617 West Ferry Avenue is set on a larger standard lot, located on the south side of the street, on the block between Ashland Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

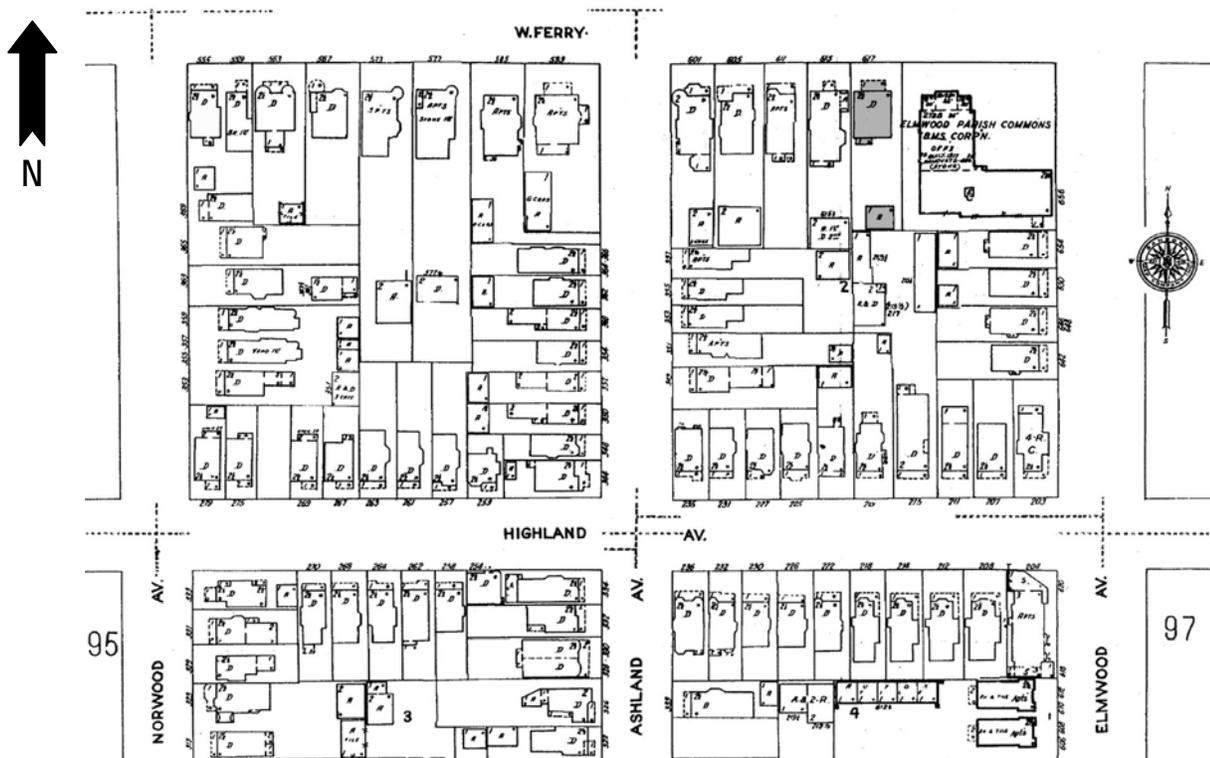
A two-story, flared hipped roof, urban, frame residence of expanded foursquare design with styling of Prairie and Craftsman influence. It has a regular square plan. The moderately framed main entrance is located centrally on the east elevation, under an extended shed roof. The façade is defined by even spaced, shuttered and framed, single windows of varying width. Flared hipped roof dormer with low triple window accent rests on the front slope. Similar dormers set on the east and west roof slopes. Two exterior chimneys run down the east elevation, set symmetrically to either side of the entranceway and above dormer. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, nine-over-one, fifteen-over-one, eighteen-over-one, twenty four-over-one and eight-over-one double-hung wood sash and fixed. Additional architectural details include wide overhanging flared eaves, exposed rafter tails, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 617 West Ferry Avenue is significant as a good representative example of an architect designed, two-story, flared hipped roof, urban, frame residence of expanded foursquare design with styling of Prairie and Craftsman influence. One of few in the survey neighborhood. Styled urban singles of varying design, such as this, were typical housing for modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for George S. Staniland. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 96



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 620 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 620 West Ferry Avenue is set on a large irregular lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

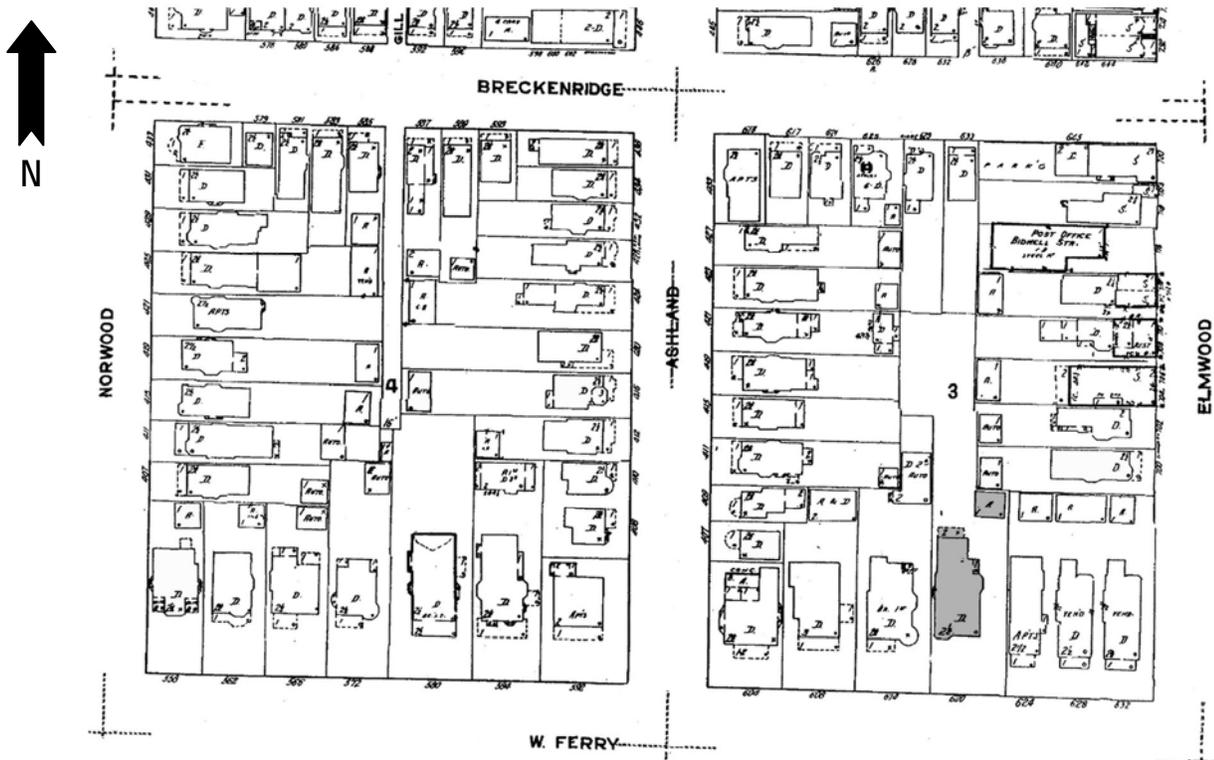
A two-and-one-half story, hipped roof, urban, frame residence of modest Queen Anne design and style. It has a roughly rectangular plan, with minimal projections and a narrowed rear extension in the west. It is set on a stone foundation. The façade has a 1/3-width, recessed entry porch in the extreme east bay, with paired square column supports, noted entablature with flat frieze, and metal railed entry stair. A single window sets to the west of the entrance porch, just off center. The west bay of the façade is dominated by a two-story, projecting, polygonal bay with tiered triple windowing and low pitched hipped roof that adjoins to the main roofline. The second floor façade has a paired window in the east and a small central single window. A flat roofed, polygonal dormer with triple window grouping accent rests centered on the front roof slope. Small hipped roof dormer to the front on the western slope; large dormer of similar design further back on the roof slope, above a second-story polygonal oriel on the west elevation. Bay on the east elevation to the rear. Tall exterior chimney on the west elevation, spaced between the two dormers. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, six-over-one, nine-over-one, and twelve-over-one double-hung wood sash, casement and fixed. Additional detailing includes modest cornice on the dormers, trim and framing.

A garage sets to the rear.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 620 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, hipped roof, urban, frame residence of modest Queen Anne design and style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 624 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 624 West Ferry Avenue is set on a larger standard lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

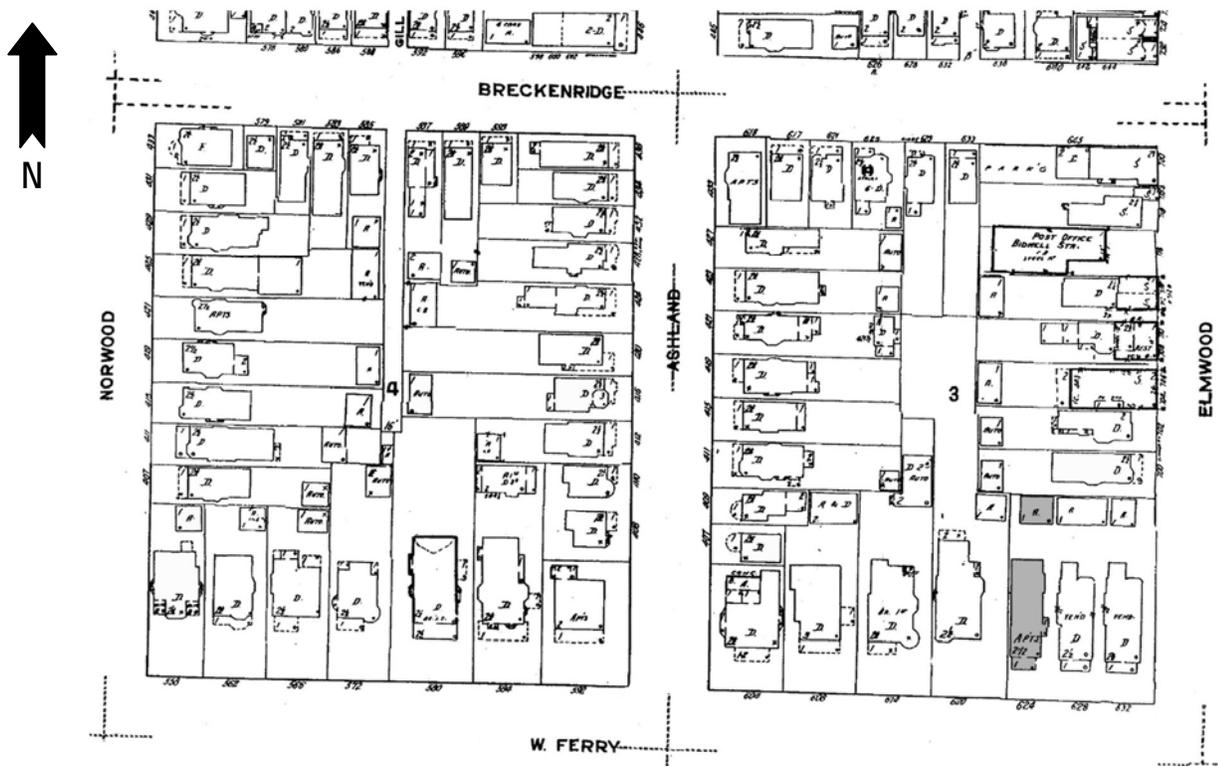
A two-story, hipped roof, urban, frame, residence with subtle mixed period Queen Anne influencing. It has a long, rough rectangular plan. The façade has a nearly full-width, flat roofed, enclosed living porch with ribboned triple window grouping upper spaced by modest pilasters that continue down through the clapboard base, wide frieze and cornice. The main entrance is located facing the street on the east elevation, set within a shallow, flat roofed, enclosed, rectangular, vestibule reached by a metal railed entry stair; metal balustrade around the roof. The second floor façade has an open porch with metal rail and awning supports, centered French door porch entrance, and a single window in either side bay. A gabled dormer with paired window accent sets centered on the front roof slope. Large shed roof dormer occupies the majority of the eastern slope, butting into the lower slightly projecting side gable with lower bay at the rear. Secondary side entrance with bracketed gable roof visible towards the rear of the east elevation. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, four-over-one, six-over-one, eight-over-one, and six-over-six double-hung wood sash and fixed. Minor detailing includes trim and framing.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 624 West Ferry Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame, residence with subtle mixed period Queen Anne influencing. Modestly styled residences of the prevailing trend, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-1)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 628 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1922

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 628 West Ferry Avenue is set on a larger standard lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

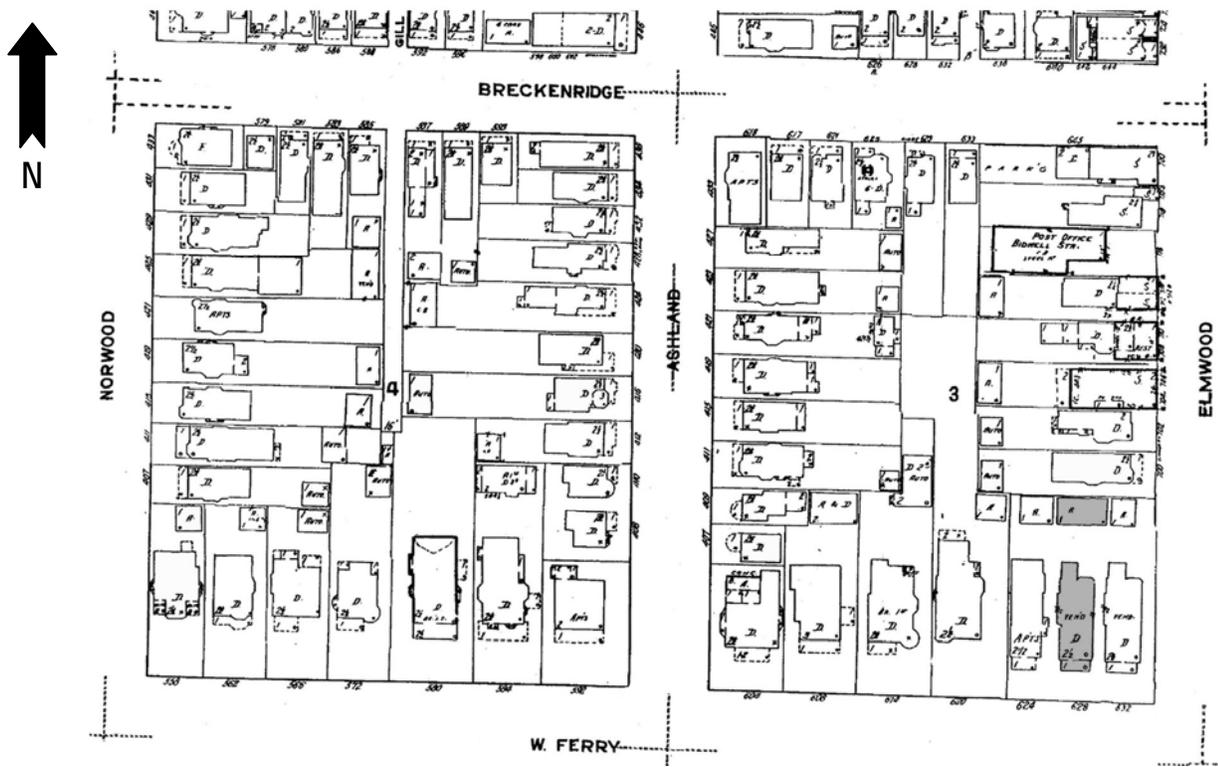
A two-story, flared hipped roof, urban, residence with styling of Prairie and Craftsman influence. It has a long, rough rectangular plan and it is set on a low stone foundation. The façade has a ¾-width, enclosed living porch with long continuous multi-pane windowed upper, capped brick piers at corners, hipped pent with overhang, frieze, and rafter tails. A slim single window sets in the remaining far west bay. The main entrance is located on the east elevation. The second floor façade has an open porch with metal rail and awning supports, centered French door porch entrance, and a single window to either side. Flared hipped roof dormer with triple window accent rests centered on the front slope. Shed roof dormer sets midway back on the west slope, centered over the long two-story rectangular bay contained under the eave on the western elevation. Exterior brick chimney at the front of the west elevation; additional smaller brick chimney just of f the center ridge. Exterior wall fabric is brick with clapboard on the dormers. Fenestration is one-over-one and six-over-one double-hung wood sash and fixed, with multi-panes. Detailing includes wide eaves with noted frieze, exposed rafter tails, stone sills, and framing.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 628 West Ferry Avenue is significant as a good representative example of a two-story, flared hipped roof, urban, residence with styling of Prairie and Craftsman influence. One of several in the survey area. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Charles J. Fimiani. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-0)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 632 West Ferry Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1922

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	---	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 632 West Ferry Avenue is set on a larger standard corner lot, located on the north side of the street, at the west side of the intersection of West Ferry Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

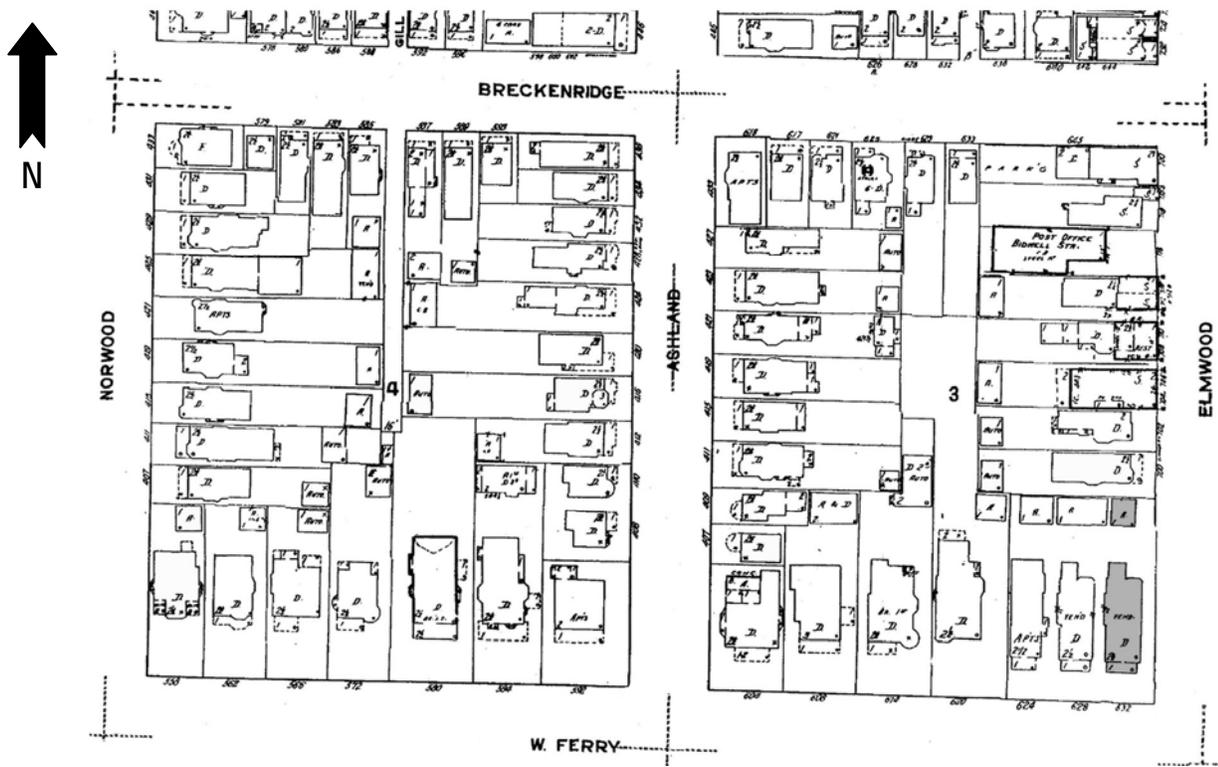
A two-story, hipped roof, urban, frame, residence with subtle mixed period influencing. It has a long, rough rectangular plan. The façade has a nearly full-width, enclosed living porch with continuous ribboned window upper spaced by modest full-height pilasters, patterned wood base over a brick foundation, and wide frieze and cornice. Main entrance located on the east side of the porch under an extended hipped roof, set within a shallow, brick vestibule. Additional main entrance further back on the east elevation under a similar hipped roof, set within a shallow, brick vestibule. The second floor façade has an open porch with metal rail and awning supports, centered French door porch entrance, and a single window in either side bay. A clipped gable dormer accented by a triple window with thick corner pilasters extends from the main ridge to set centered on the front roof slope. Small shed roof dormers towards the rear of the western and eastern roof slopes. Two-story, rectangular bay contained under the eaves on the west elevation. Exterior brick chimney to the front on the western elevation; small brick chimney just off the center ridge on the west slope. Exterior wall fabric is brick with clapboard on the dormers. Fenestration is one-over-one and six-over-one double-hung wood sash and fixed, with multi-panes. Detailing includes wide eaves, frieze, stone sills, trim and framing.

Garage in the rear to the west.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 632 West Ferry Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame, residence with subtle mixed period influencing. Styled urban doubles of varying design, such as this, were typical housing for middle class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Charles J. Fimiani. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 360



PHOTOGRAPH: (Grant-Ferry-Forest: R-2; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 645 West Ferry Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1893

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco and half-timbering; stone facing	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 645 West Ferry Avenue is set on a larger standard corner lot, located on the south side of the street, at the west side of the intersection of West Ferry Avenue and Elmwood Avenue. West Ferry Avenue is a prominent, east-west, primarily residential street that runs across the west side neighborhood that bears its name. Beginning at the Niagara River, the foot of West Ferry Avenue was the site of a former ferryboat pier, and before there was a bridge spanning the river, and after, this was a much traveled route. More modest dwellings line the far west end of the street, though those toward the east gain increasing grandeur. The easternmost portion included with in the survey area is a part of the Historic District. The property is located in an upscale residential area of the south eastern section of the Grant-Ferry-Forest neighborhood.

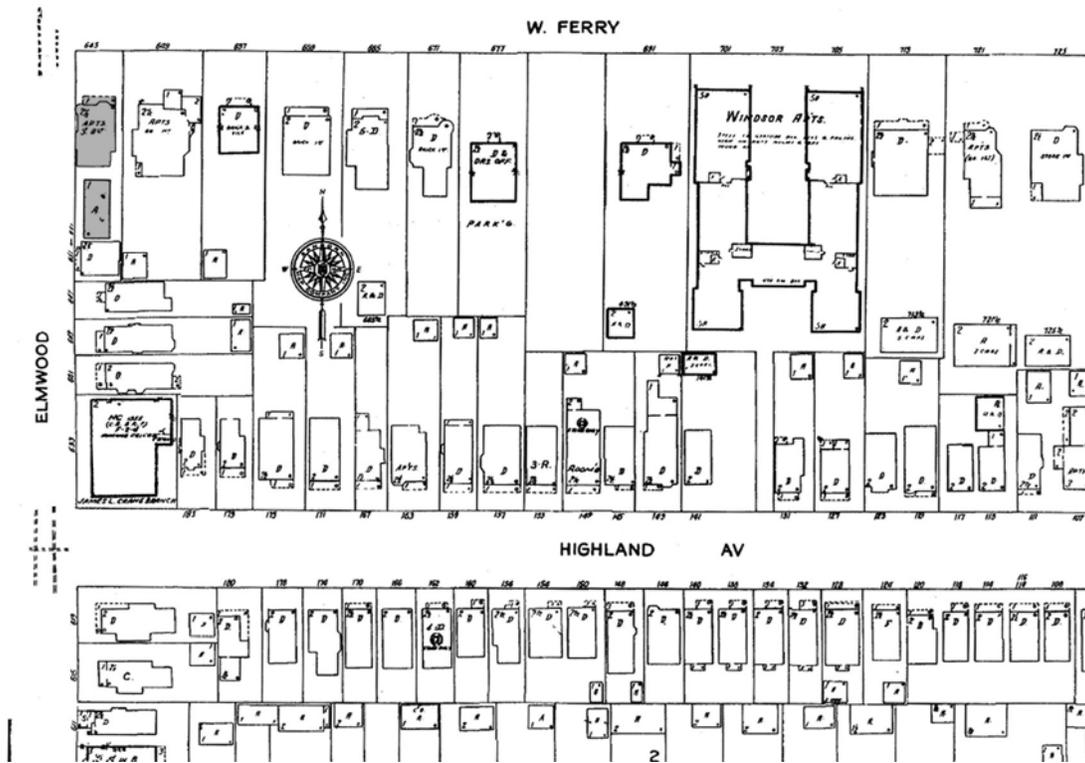
A two-and-one-half story, hipped and lower gabled, urban, residence of a high Queen Anne style with mixed elements. It has a rough shortened rectangular plan and is set on a stone foundation. The West Ferry façade has a ¾-width porch to the east, with ¾-height slender columns set on a solid capped stone rail that extends into the foundation, small frieze, and an entry stair in the east bay. The modestly framed main entrance is located centrally on the façade, under the porch. A large window sets in the east bay of the façade. The western bay and corner are dominated by a two-plus story engaged tower with conical roof. Second story façade has a open porch with metal rail and shallow roofed polygonal oriel in the east; porch entrance set in the western face of the oriel. Small pedimented dormer with single window accent sets on the eastern portion of the front roof slope. Substantial lower gable with lower projecting bay on the west elevation fronting Elmwood Avenue; stone facing lower, Tudor-styled half-timbered upper. Entrance with small, flat roofed, metal railed and supported, entry porch and stair; additional lower entrance with Gothic arched opening. Exterior wall fabric is wood clapboard and shingle, with stone of the lower story of the tower, and stone facing, stucco, and half-timbering on the gabled projection on the west elevation. Fenestration is primarily one-over-one double-hung wood sash and fixed. Assembled detailing includes a belt course, frieze, bracketing, rafter tails, trim and framing.

A large long garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 645 West Ferry Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower gabled, urban, residence of a high Queen Anne style with mixed elements. Styled urban residences of varying Queen Anne influence and style, such as this, were common housing in the late nineteenth and early twentieth centuries on the West Side. Built for H. M. Cooper. Occupied by C. M. Bushnell in 1894.

MAP: Sanborn Map (Revised 1986) – Plate 97



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-16)



